

McGOEY, HAUSER and EDSALL CONSULTING ENGINEERS D.P.C.

MARK J. EDSALL, P.E., P.P. (NY, NJ & PA) MICHAEL W. WEEKS, P.E. (NY, NJ & PA) MICHAEL J. LAMOREAUX, P.E. (NY, NJ, PA, VT, VA & CT) PATRICK J. HINES LYLE R. SHUTE, P.E. LEED-AP (NY, NJ, PA) Main Office 33 Airport Center Drive Suite 202 New Windsor, New York 12553

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Principal Emeritus: RICHARD D. McGOEY, P.E. (NY & PA) WILLIAM J. HAUSER, P.E. (NY, NJ & PA)

TOWN OF NEWBURGH PLANNING BOARD TECHNICAL REVIEW COMMENTS

PROJECT:CBPS REALTYPROJECT NO.:18-20PROJECT LOCATION:SECTION 35, BLOCK 1, LOT 21.2REVIEW DATE:14 NOVEMBER 2019MEETING DATE:21 NOVEMBER 2019PROJECT REPRESENTATIVE:FUSCO ENGINEERING

- 1. A well has been located on the plan sheet to provide water service for the site. The site is located in the Town's Consolidated Water District 1. Comments from Town Engineer, Jim Osborne, concerning the installation of a well within the water district to service a commercial property should be received.
- 2. The project has applied to the Town of Newburgh Bureau of Fire Prevention for a waiver for sprinklers on the building. Status of the request should be addressed with the Board.
- **3.** The DOT details should be revised to reflect the repair overlay rather than the full section pavement identified.
- **4.** The landscaping along the easterly portion of the site appears to conflict with proposed fencing. It is unclear if the landscaping is inside or outside the fence.
- 5. Submission to County Planning is required.
- **6.** A Public Hearing is required for the proposed site plan.
- **7.** This office would recommend a Negative Declaration based on recent revision to the plans and submission of appropriate reports.

Regional Office • 111 Wheatfield Drive • Suite 1 • Milford, Pennsylvania 18337 • 570-296-2765 •



Member

Respectfully submitted,

McGoey, Hauser and Edsall Consulting Engineers, D.P.C.

Patrick J. Hines Principal

PJH/JLC

FUSCO ENGINEERING LAND SURVEYING, P.C. Consulting Engineers

Alfred A. Fusco, Jr., P.E., Principal

Alfred A. Fusco, III, General Manager

- 233 East Main Street Middletown, NY 10940 Phone: (845) 344-5863 Fax; (845) 956-5865
- 19 Waywayup Lane Port Jervis, NY 12771 Phone: (845) 956-5866

November 12, 2019

Town of Newburgh Planning Board 308 Gardnertown Road Newburgh, NY 12550

Attn: John Ewasutyn, Chairman

Re:

CBPS Realty, LLC Self Storage Section 35, Block 1, Lot 21.2 North Plank Road Town of Newburgh Orange County, NY Our File #17-448

Dear John,

As per our conversation, enclosed please find 14 sets of revised plans and attachments to depict the following revisions per the previous planning board meeting and the two consultants workshop meetings:

- 1. The zoning boundary lines have been made much clearer on the plans. As a result, one of the buildings had to be shifted to allow for a minimum of 60 feet as required for the appropriate landscaped buffer.
- 2. Attached please find email correspondence from Siby of the NYSDOT. The email notes that the existing entrance was previously permitted and approved. However, we will need to repair the potholes, mill and repave as per the NYSDOT detail provided on the plan. A note to this effect has been added to the plans.
- 3. Attached please find correspondence from the Cronomer Valley Fire Department. The existing hydrant at the intersection of North Plank road and Weyant's Lane is close to our site development and will provide adequate fire protection. Therefore, the plans now show a proposed well on-site for minimal water usage required. In addition, the NYSDOT doe does not want to open North Plank road as it has been recently paved.
- 4. We have removed any proposal to store paving equipment, mulch, disposal of spoil pavement and/or contractor supplies as this would create two different uses on the parcel. Also, the landscape buffer requirements are much more stringent and prohibit this use with the limited area for development.
 - 5. Please note the plans have been submitted to the Town of Newburgh Bureau of Fire Prevention for a waiver on fire sprinklers.

- 6. The lighting plan has been revised to reflect the new site layout as required with new light fixtures and isolux curves.
- 7. The tree line has been corrected on the revised plans.
- 8. The landscaping plan has been significantly improved. This includes a mixture of Green giant arborvitae, red maple and white pine for buffer landscaping as well as some internal plantings for decorative landscaping.
- 9. The proposed perimeter fence has been labeled as "black vinyl coated" chain link fence at the request of the board.
- 10. The sand has been specified as C-33 for the elgen detail as requested.
- 11. The SDS has been modified so that there is no significant fill in the area of the proposed SDS.
- 12. The fence now shows two 15' automatic gates opening in two directions to prevent it from opening onto adjoining lands.
- 13. The plans now show aquatic species and seeding mix for the micropool ponds.
- 14. Landscaping symbols have been clarified on the plans as required.
- 15. The fence has been pushed back further to allow more room for snow storage.
- 16. Plantings are now provided around the existing sign as requested.
- 17. The plans now show seed mix, mulch and topsoil around all ground cover outside of pavement and buildings.

Please provide us with your comments and concurrence as necessary to proceed further with the planning board and approvals.

Thank you in advance.

Very truly yours,

Alfred A. Fusco, Jr., P.E. Fusco Engineering & Land Surveying, P.C AAF/cam

Cc: CBPS, LLC Realty

Jennifer Higinson

From:	Zachariah, Siby (DOT) <siby.zachariah@dot.ny.gov></siby.zachariah@dot.ny.gov>
Sent:	Thursday, November 07, 2019 2:06 PM
To:	mattconsorti@gmail.com; nosekengineering@hotmail.com; jmh@fuscoengineering.com
Cc:	codecompliance@townofnewburgh.org; phines@MHEPC.com
Subject:	Existing Driveway for CBPS Realty Self Storage Project, North Plank Road, Route 32,
Attachments:	Town of Newburgh Typical Commercial Driveway.pdf

Good afternoon Matt,

This email is to inform you that the Department previously issued a Highway Work Permit to the former owner of the subject property. At that time, the prior owner had constructed the commercial access according to the current NYSDOT specifications denoted on the permit. Those specifications still apply currently. The existing driveway is also located at an acceptable location within the frontage of the property.

The Department has revisited the site and inspected the current condition of the access. We found that although the concrete curbs were satisfactory, there were a couple of small sections that were spalled and breaking apart. We also noted that the asphalt pavement was deteriorating and potholes had developed. Therefore, the Department will require that you <u>at least</u> reconstruct the pavement in the access driveway. Please note that the shoulder area in front of the curbs shall also be paved, as per the Typical Commercial Driveway specifications.

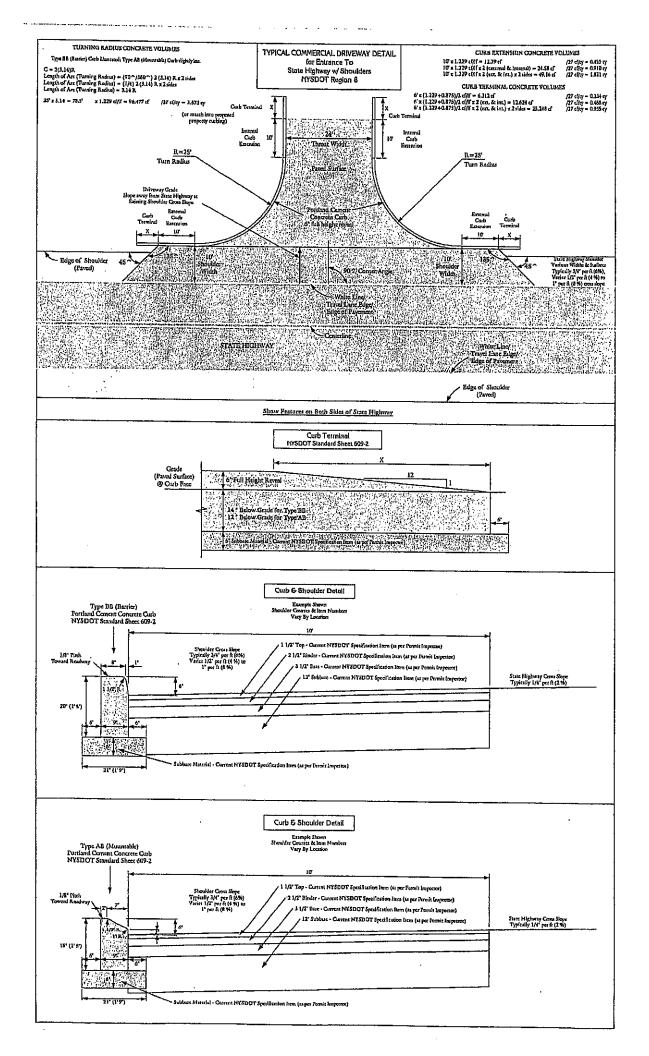
I have attached the Typical Commercial Driveway Detail for your use. Please note that any improvements within NYSDOT right-of-way shall require a HWP prior to construction.

Thank you, Siby

Siby Mary Zachariah-Carbone Permit Field Engineer

New York State Department of Transportation, East Orange County Residency 112 Dickson Street, Newburgh, NY 12550 (845) 562-8368 (845) 562-4020 <u>Siby.Zachariah@dot.ny.gov</u> www.dot.ny.gov







Cronomer Valley Fire Department 296 North Plank Road Newburgh, NY 12550 Station – (845) 564-2020 Fax- (845) 564-4451



October 23, 2019

Fusco Engineering & Land surveying, P.C. 233 East Main Street Middletown, NY 10940

Att: Al Fusco

Re: CBPS Realty, LLC

AI,

In regards to the proposed development of the parcel on North Plank Road opposite Weyants Lane, we have reviewed the submitted site plan and accompanying information.

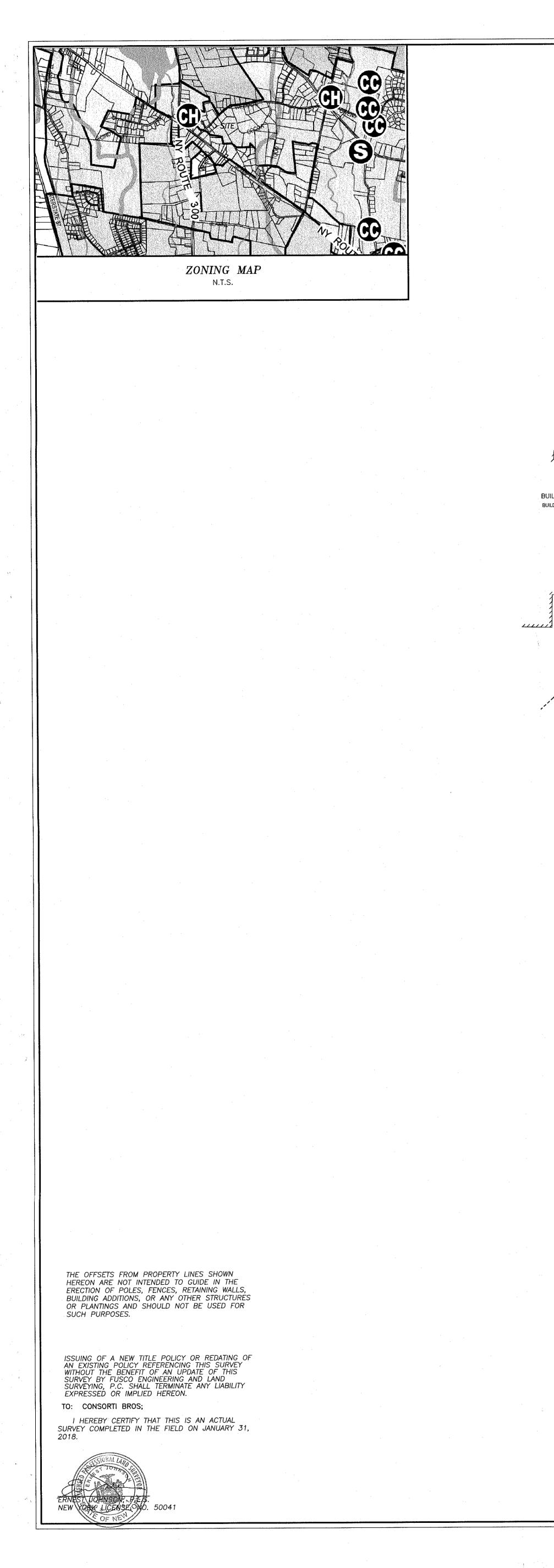
It is understood that this storage facility has been designed as such to allow for exterior access to the individual storage units which are to be of steel construction, unheated and have no habitable space. It is also understood that any office area for the management of the storage business would be occupied only during normal business hours and not have any residential facilities incorporated. For these reasons, we would not be against granting a waiver for the sprinkler system requirement.

Furthermore, we feel that the fire hydrant located at the corner or North Plank Rd and Weyants Lane would be sufficient to handle any incident at the proposed facility and would be designated the primary water source used by this Department due to the larger water main size that exists along that corridor.

If you have any further questions, please advice.

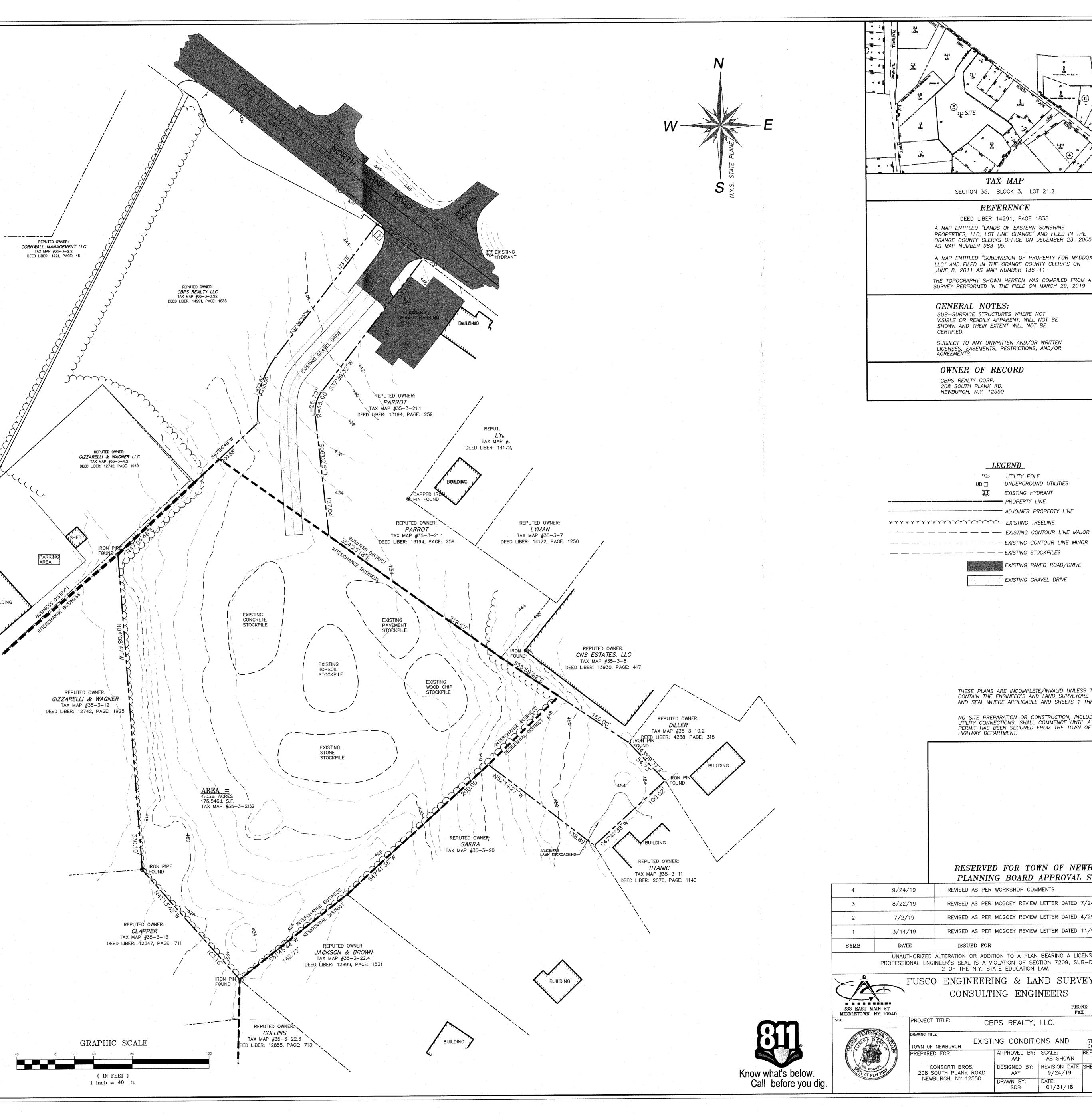
Sinderely Juan Moreno

Chief of Department Cronomer Valley Fire District



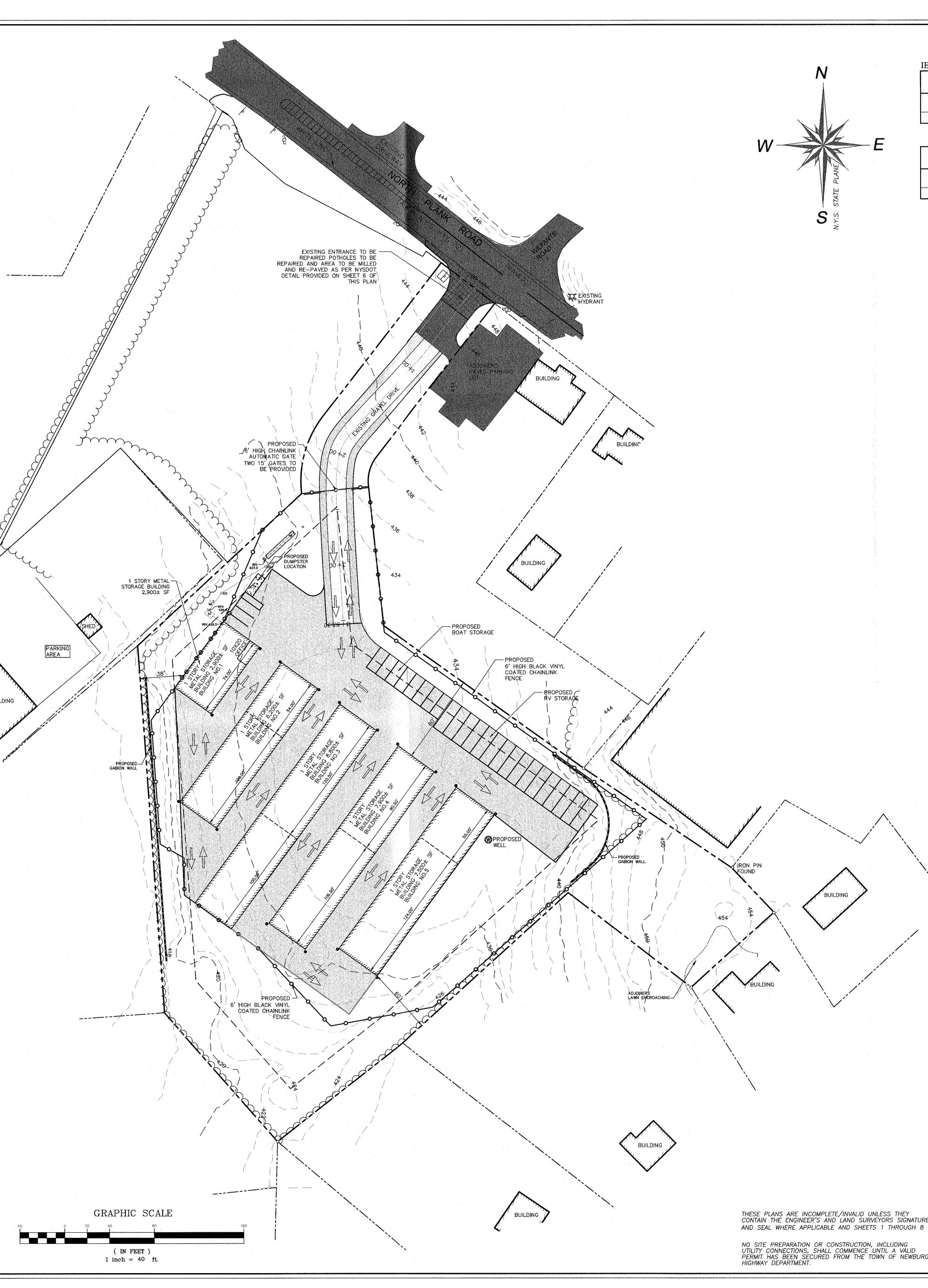
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SECTION **BALLEN** BER STALL FR. TAX MAP SECTION 35, BLOCK 3, LOT 21.2 REFERENCE DEED LIBER 14291, PAGE 1838 A MAP ENTITLED "LANDS OF EASTERN SUNSHINE PROPERTIES, LLC, LOT LINE CHANGE" AND FILED IN THE ORANGE COUNTY CLERKS OFFICE ON DECEMBER 23, 2005 A MAP ENTITLED "SUBDIVISION OF PROPERTY FOR MADDOX LLC" AND FILED IN THE ORANGE COUNTY CLERK'S ON THE TOPOGRAPHY SHOWN HEREON WAS COMPILED FROM A SURVEY PERFORMED IN THE FIELD ON MARCH 29, 2019 VISIBLE OR READILY APPARENT, WILL NOT BE SHOWN AND THEIR EXTENT WILL NOT BE SUBJECT TO ANY UNWRITTEN AND/OR WRITTEN LICENSES, EASEMENTS, RESTRICTIONS, AND/OR AGREEMENTS. LEGEND UTILITY POLE UNDERGROUND UTILITIES EXISTING HYDRANT XISTING PAVED ROAD/DRIVE EXISTING GRAVEL DRIVE THESE PLANS ARE INCOMPLETE/INVALID UNLESS THEY CONTAIN THE ENGINEER'S AND LAND SURVEYORS SIGNATURE AND SEAL WHERE APPLICABLE AND SHEETS 1 THROUGH 8 OF 8 NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID PERMIT HAS BEEN SECURED FROM THE TOWN OF NEWBURGH HIGHWAY DEPARTMENT. RESERVED FOR TOWN OF NEWBURGH PLANNING BOARD APPROVAL STAMP REVISED AS PER WORKSHOP COMMENTS REVISED AS PER MCGOEY REVIEW LETTER DATED 7/24/19 REVISED AS PER MCGOEY REVIEW LETTER DATED 4/29/19 REVISED AS PER MCGOEY REVIEW LETTER DATED 11/9/19 UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW. FUSCO ENGINEERING & LAND SURVEYING, P. CONSULTING ENGINEERS PHONE: (845) 344-5863 FAX (845) 956-5865 CBPS REALTY, LLC. EXISTING CONDITIONS AND STATE OF NEW YORK COUNTY OF ORANGE REFERENCE NUMBER: APPROVED BY: | SCALE: AS SHOWN 17-448 AAF DESIGNED BY: REVISION DATE: SHEET NUMBER: 9/24/19 AAF DRAWN BY: DATE: SDB 01/31/18 PAGE 1 OF 8





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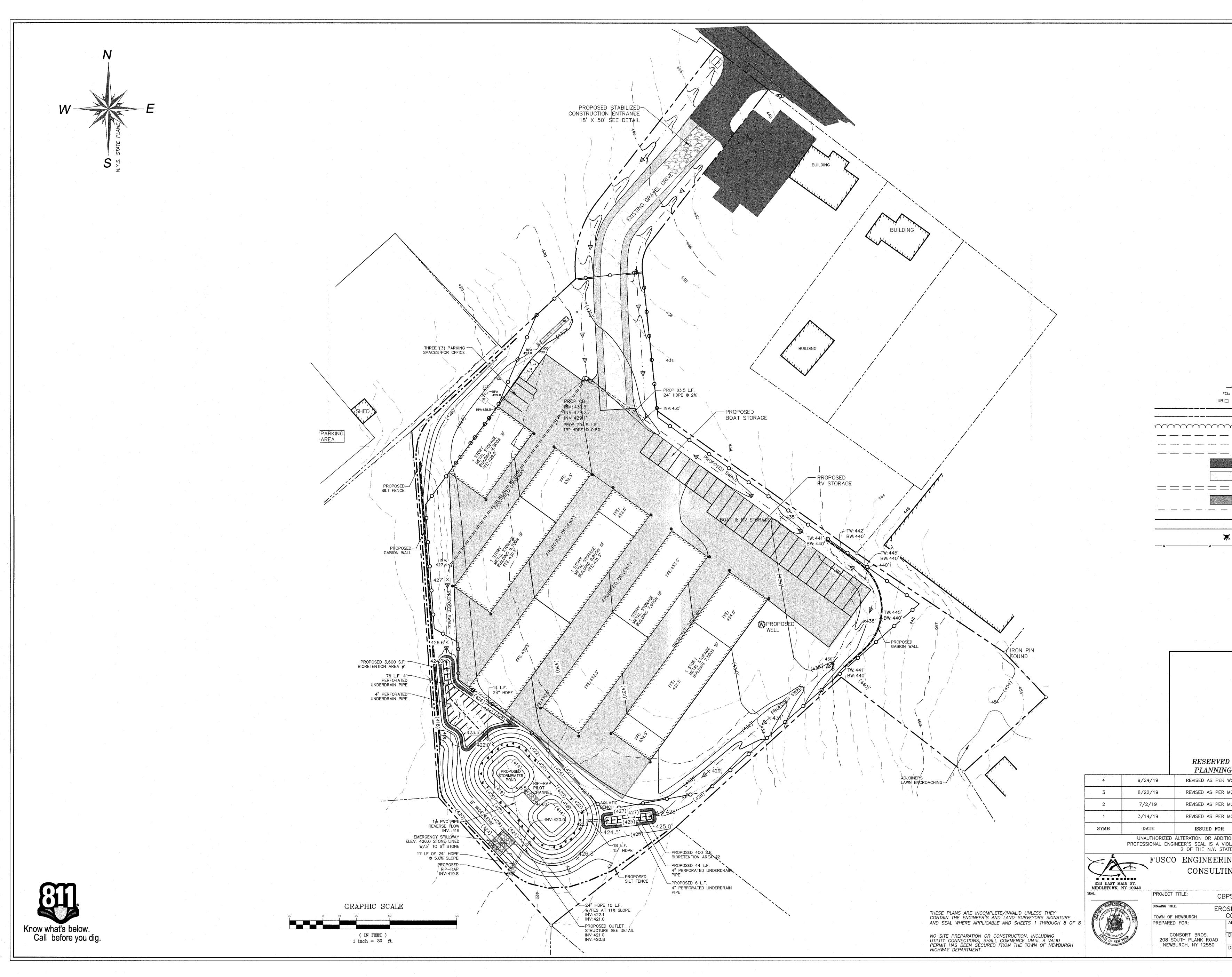
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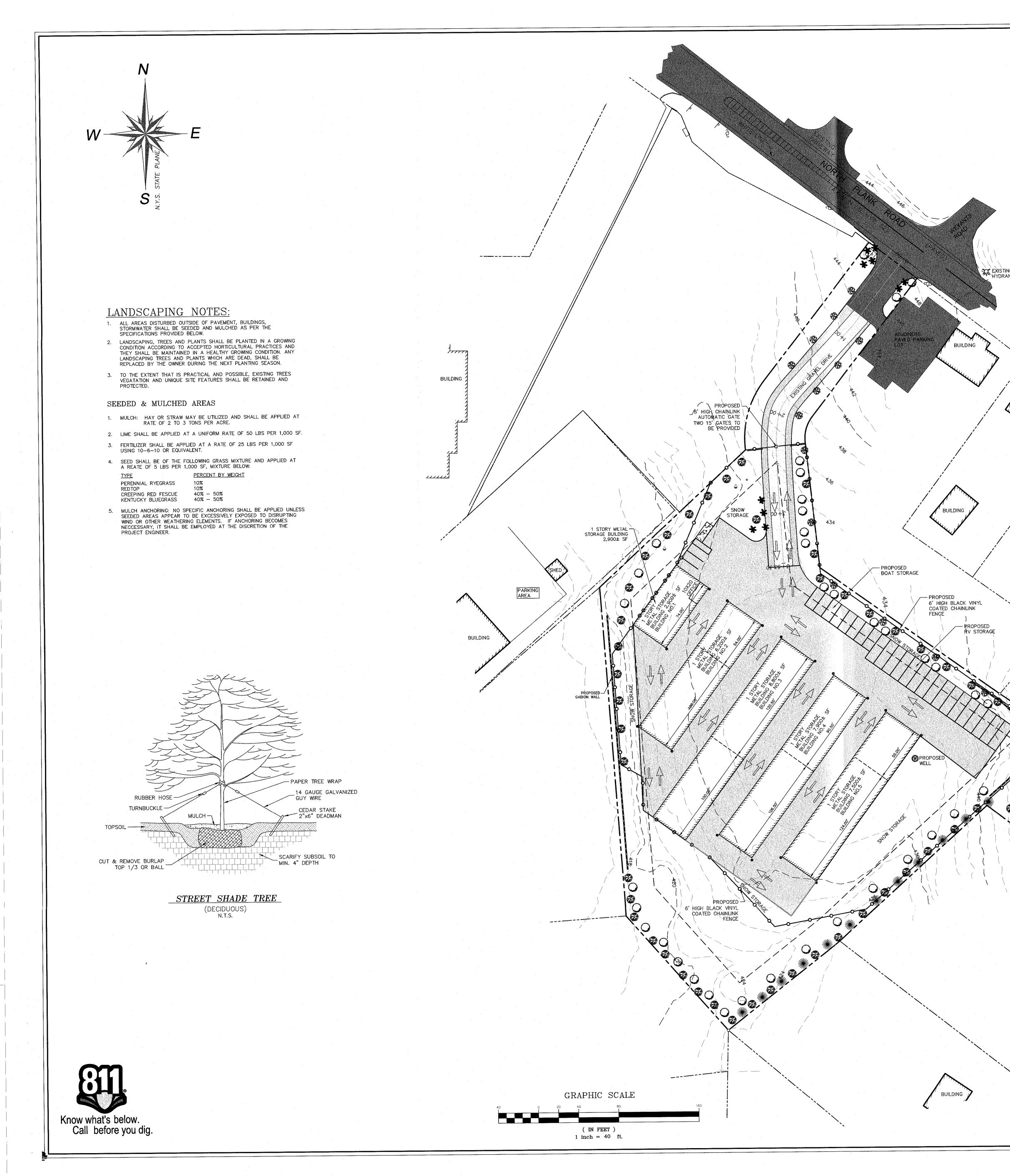
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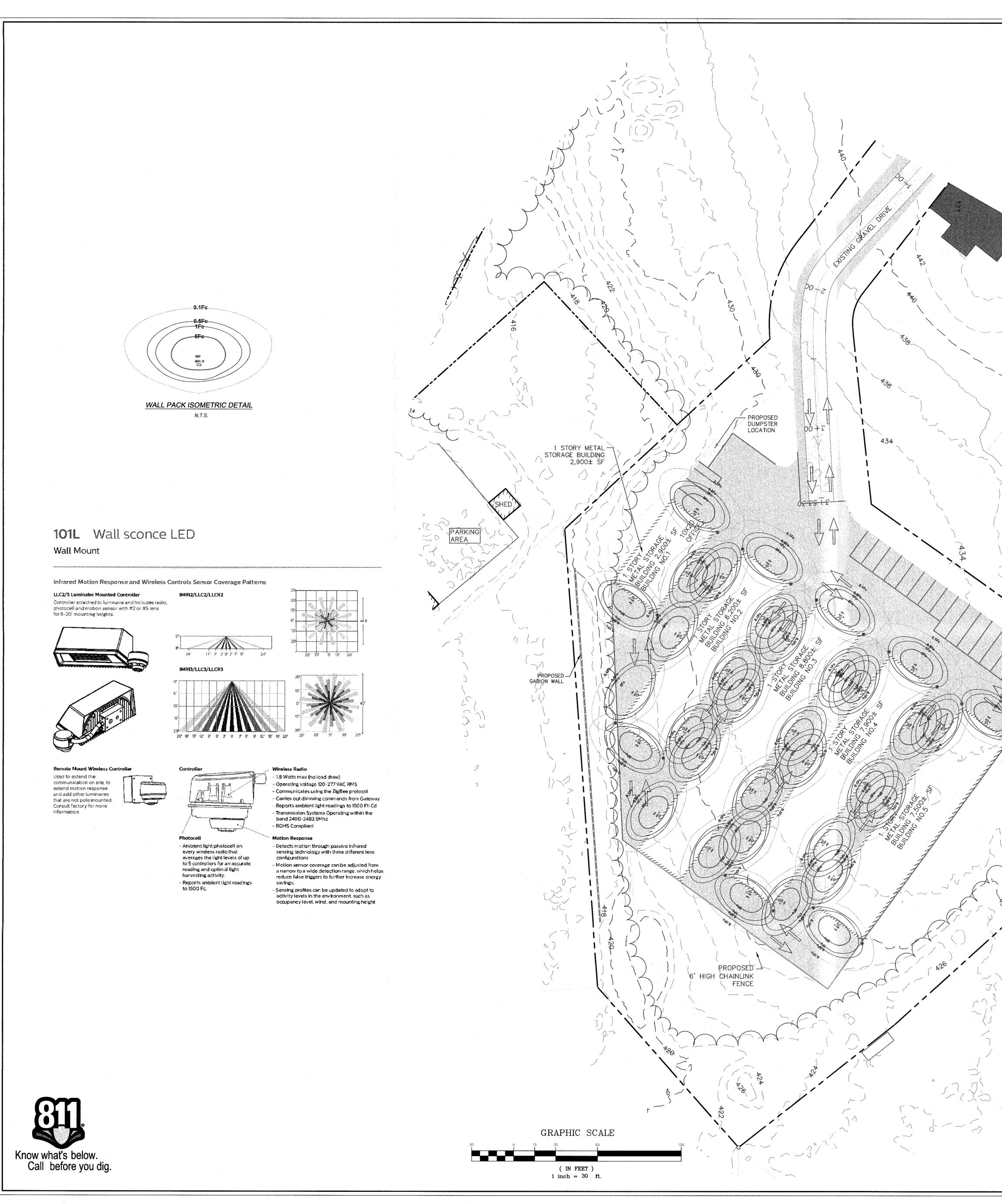
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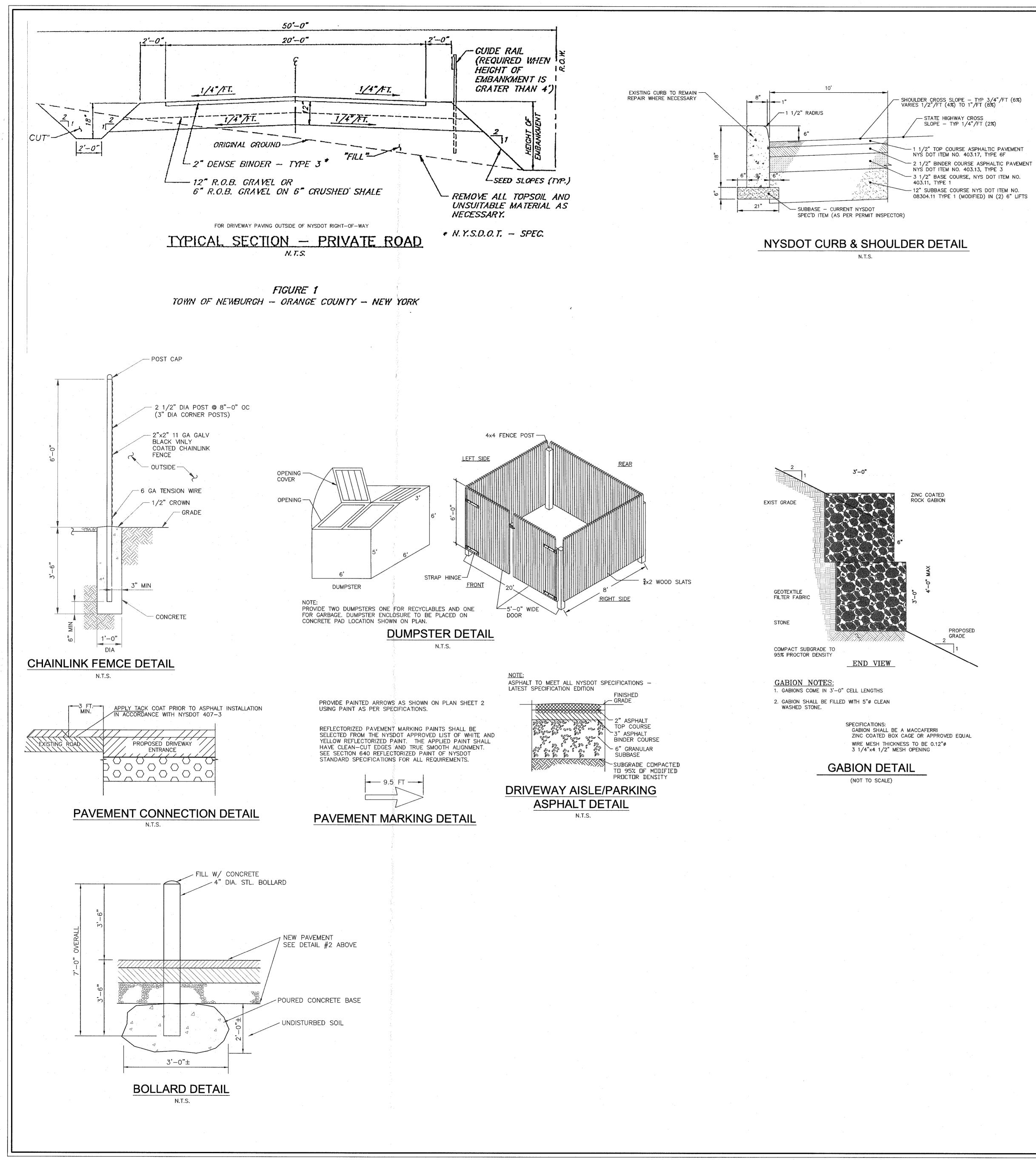
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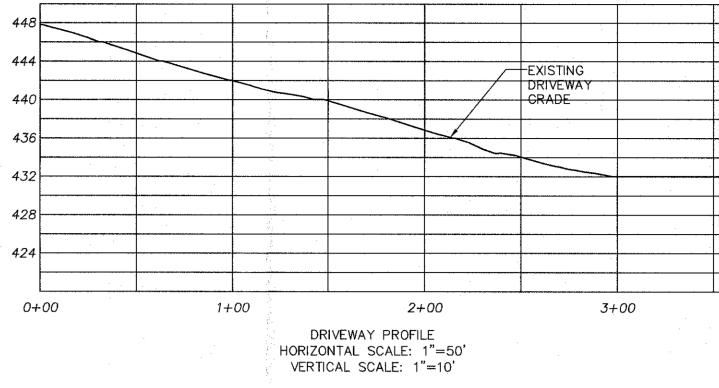
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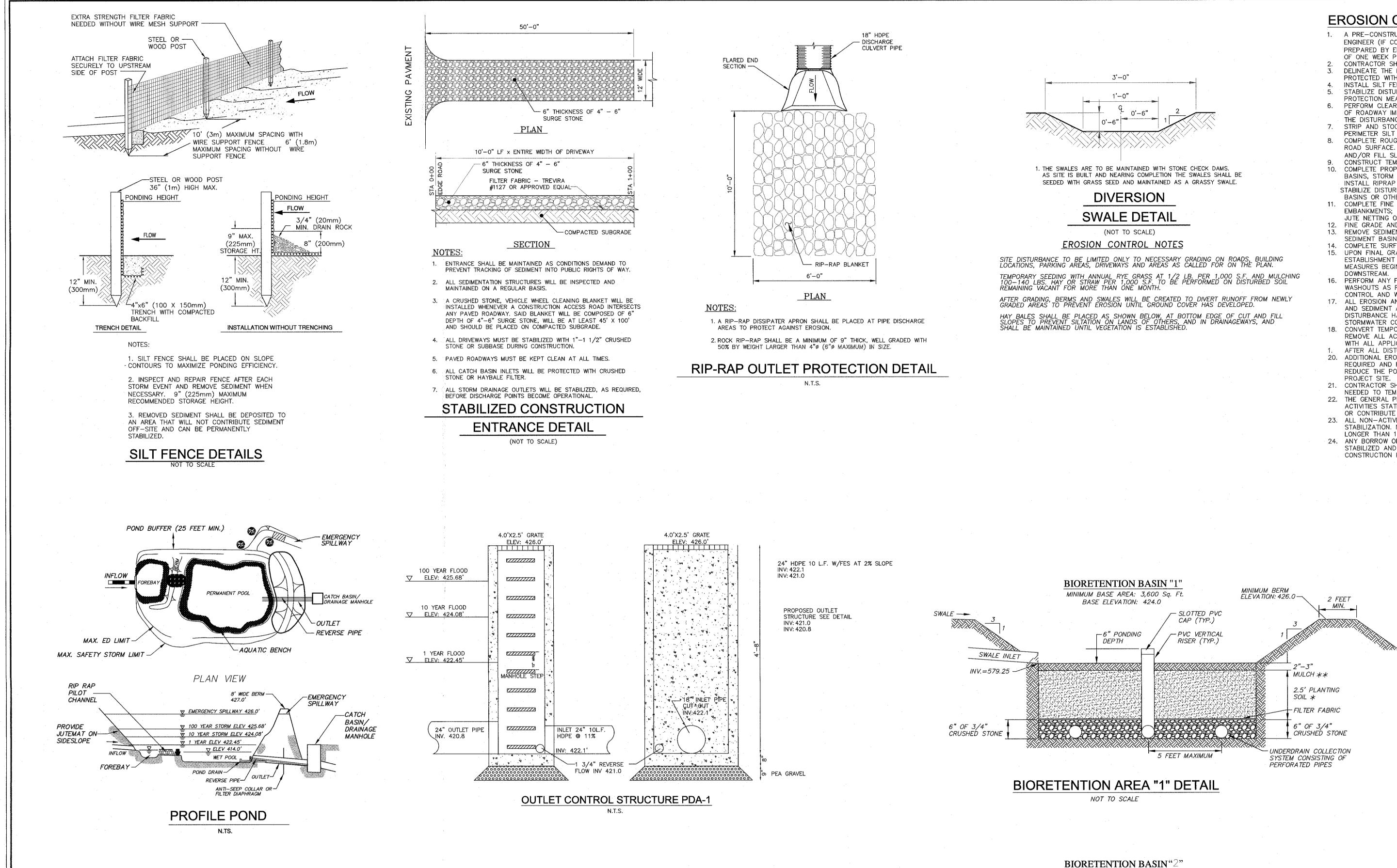
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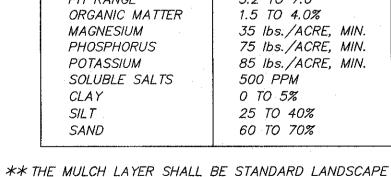
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	PLANTING SCHEDULE BIORETENTION AREA									
SYMBOL:	SCIENTIFIC NAME:	COMMON NAME:	NUMBER:							
發	CATTAIL	TYPHA SP.	7							
*	ARROW ARUM	PELTANDRA VIRGINICIA	7							
Θ	BLUE FLAG IRIS	IRIS VERSICOLOR	• 7							
WIMANW	BUSHY BEARDGRASS	ANDROPOGON GLOMERATUS	6							
- 21/4	MARSH HIBISCUS	HIBISCUS MOSCHEUTOS	6							
\bigcirc	SWEET FLAG	ACORUS CALAMUS	6							
WIWIW	WOOL GRASS	SCIRPUS CYPERINUS	6							
PLANTS T	O BE SPACED IN A 2 PLANTS EVERY	8 FEET FOR A TOTAL OF 9	D PLANTS.							

BRUSH OR SEEDS FROM NOXIC SHALL BE IN LIFTS OF 12" TO WITH A DOZER OR BACKHOE E	18", LOOSELY C
THE SOIL SPECIFICATIONS	ARE AS FOLLOWS
PARAMETER	VALUI
PH RANGE ORGANIC MATTER MAGNESIUM	5.2 TO 7.0 1.5 TO 4.0% 35 Ibs./ACR



STYLE, SINGLE OR DOUBLE, SHREDDED HARDWOOD MULCH OR CHIPS, THE MULCH LAYER SHALL BE WELL AGED (STOCKPILE OR STORED FOR AT LEAST 12 MONTHS), AND FREE OF OTHER MATERIALS, SUCH AS WEED SEEDS, ROOTS, ECT.

AQUATIC PLANT & SEEDING MIX: N.T.S.

* PLANTING SOIL SHALL BE A SANDY LOAM, LOAMY SAND, LOAM OR A LOAM/SAND MIX (CONTAINING 60-70% SAND, BY VOLUME). THE CLAY CONTENT FOR THESE SOILS SHALL BE LESS THAN 5% BY VOLUME. SOILS SHALL FALL WITHIN THE SM, OR ML CLASSIFICATIONS OF THE UNIFIED SOIL CLASSIFICATION SYSTEM (USCS). A PERMEABILITY OF AT LEAST 1.0 FEET PER DAY (0.5"/HOUR) IS REQUIRED. THE SOIL SHALL BE FREE OF STONES, STUMPS, ROOTS, OR OTHER WOODY MATERIAL OVER 1" IN DIAMETER AND ACEMENT OF THE PLANTING SOIL COMPACTED (TAMPED LIGHTLY

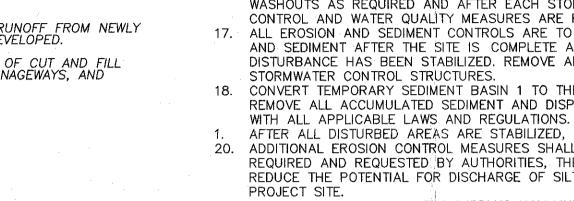
MINIMUM BASE AREA: 400 Sq. Ft. BASE ELEVATION: 425.0 SWALE -----6" PONDING DEPTH SWALE INLET INV.=579.25 6" OF 3/4" CRUSHED STONE ARABARA

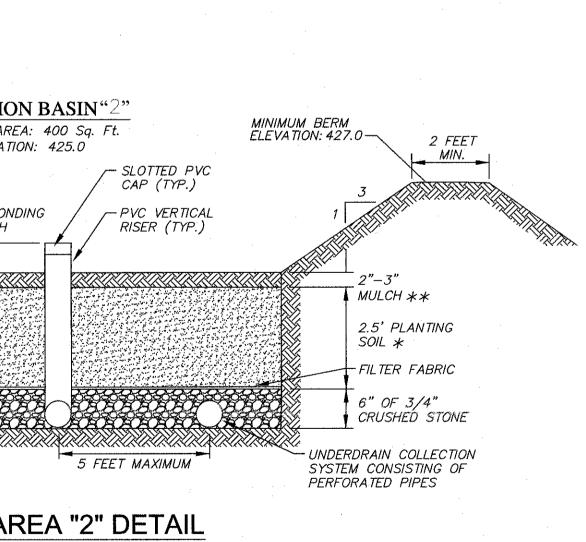
> **BIORETENTION AREA "2" DETAIL** NOT TO SCALE

EROSION CONTROL SEQUE

1. A PRE-CONSTRUCTION MEETING WITH TOWN REP ENGINEER (IF CONSTRUCTION OBSERVATION AND, PREPARED BY ENGINEER) AND CONTRACTOR PRE OF ONE WEEK PRIOR TO CONSTRUCTION. CONTRACTOR SHALL SECURE ALL APPROVALS AN

- DELINEATE THE LIMITS OF DISTURBANCE. TREES PROTECTED WITH PERIMETER SNOW FENCE.
- INSTALL SILT FENCE AND STABILIZED CONSTRUC STABILIZE DISTURBED AREAS WITH TEMPORARY
- PROTECTION MEASURES PER EROSION CONTROL PERFORM CLEARING AND GRUBBING ACTIVITIES OF ROADWAY IMPROVEMENTS. SITE DISTURBANC
- THE DISTURBANCE LIMIT LINE DEPICTED ON THE STRIP AND STOCKPILE TOPSOIL, STABILIZE WITH PERIMETER SILT FENCING.
- 8. COMPLETE ROUGH GRADING OF ROAD. PLACE (ROAD SURFACE. INSTALL ROLLED EROSION CONT AND/OR FILL SLOPES.
- CONSTRUCT TEMPORARY SEDIMENT BASINS 2 ANI 10. COMPLETE PROPOSED STORMWATER CONVEYANCE BASINS, STORM SEWER PIPING, OPEN CHANNEL INSTALL RIPRAP AND CHANNEL PROTECTION AS STABILIZE DISTURBED AREAS. PROVIDE INLET SEDI BASINS OR OTHER STRUCTURES WITH GRATE-INL
- 11. COMPLETE FINE GRADING OF DISTURBED AREAS EMBANKMENTS; AMEND SOILS AS REQUIRED AND JUTE NETTING OR HYDROSEED.
- 12. FINE GRADE AND STABILIZE ROADWAYS. 13. REMOVE SEDIMENT FROM TEMPORARY SEDIMENT SEDIMENT BASIN SUBGRADE TO DRY BEFORE PLA 14. COMPLETE SURFACING OF ROADWAY.
- 15. UPON FINAL GRADING AND PLACEMENT OF RIPRA ESTABLISHMENT OF VEGETATIVE SLOPE STABILIZA MEASURES BEGINNING AT THE MOST UPSTREAM
- 16. PERFORM ANY FINE GRADING AND SEEDING AS WASHOUTS AS REQUIRED AND AFTER EACH STOL CONTROL AND WATER QUALITY MEASURES ARE 17. ALL EROSION AND SEDIMENT CONTROLS ARE TO AND SEDIMENT AFTER THE SITE IS COMPLETE DISTURBANCE HAS BEEN STABILIZED. REMOVE /
- STORMWATER CONTROL STRUCTURES. 18. CONVERT TEMPORARY SEDIMENT BASIN 1 TO THI REMOVE ALL ACCUMULATED SEDIMENT AND DISP
- AFTER ALL DISTURBED AREAS ARE STABILIZED, 20. ADDITIONAL EROSION CONTROL MEASURES SHALL REQUIRED AND REQUESTED BY AUTHORITIES, THI REDUCE THE POTENTIAL FOR DISCHARGE OF SIL
- 21. CONTRACTOR SHALL PROVIDE SURPLUS HAY MU NEEDED TO TEMPORARILY STABILIZE DISTURBED 22. THE GENERAL PERMIT FOR STORMWATER DISCHA ACTIVITIES STATES THAT IT IS UNLAWFUL FOR A
- OR CONTRIBUTE TO A VIOLATION OF WATER QUA 23. ALL NON-ACTIVE DISTURBED AREAS SHALL RECI STABILIZATION. NON-ACTIVE DISTURBED AREAS LONGER THAN 14 DAYS WITHOUT BEING STABILIZ
- 24. ANY BORROW OR WASTE PITS LOCATED ON SITE STABILIZED AND MAINTAINED PER THE REQUIREM CONSTRUCTION PERMIT AND THE SWPPP FOR 1





INCE:		EROSION CONTROL NOTES:
RESENTATIVES, OW /OR AS-BUILTS AF ESENT WILL BE HEL	RE TO BE	BE CONSTRUCTED UPON FOR 30 DAYS SHALL BE
ND PERMITS. 5 TO BE SAVED SH	ALL BE	2. ALL UNVEGETATED OR DISTURBED AREAS, ON SLOPES 5% OR GREATER, SHALL BE PROTECTED FROM EROSION BY PLACING TEMPORARY SEEDING OF FAST GERMINATING RYE AT A RATE OF 10 TO 15 POUNDS PER 1,000 S.F.
SEEDING AND CHANNEL		3 PRIOR TO COMMENCEMENT OF GRADING FOR BUILDING
RUSHED FOR (SHALL NOT EXC SUBDIVISION PLAN RYEGRASS SEED A RUSHED STONE TO ROL PRODUCTS O	STABILIZE	CONSTRUCTION, THE "LIMIT OF DISTURBANCE" SHALL BE DELINEATED IN ACCORDANCE WITH THE APPROVED PLAN UTILIZING TEMPORARY SILT FENCING. FENCING SHALL BE MAINTAINED IN GOOD ORDER UNTIL ALL EXPOSED SOILS ARE STABILIZED THROUGH ESTABLISHMENT OF HEAVY VEGETATIVE COVER.
D 3 AS WORK PRO SYSTEMS, CONSIS ND CULVERT CRO APPROPRIATE. MENT TRAPS AT A	DGRESSES. STING OF CATCH SSINGS.	4. GRADED AREAS ARE TO BE PROTECTED BY PROVIDING TEMPORARY INTERCEPTING DRAINAGE SWALES AT 1% MINIMUM SLOPE AND AS REQUIRED TO DIRECT RUNOFF AWAY FROM DOWNSTREAM CONSTRUCTION. DISCHARGE AREA SHALL BE PROTECTED WITH SEDIMENTATION CONTROL BARRIERS.
ан сайнаасан ал сайн	·	5. ALL AREAS OF SOIL DISTURBANCE RESULTING FROM THIS PROJECT SHALL BE SEEDED WITH AN APPROPRIATE PERENNIAL GRASS SEED AND MULCHED WITH HAY OR STRAW WITHIN ONE WEEK OF FINAL GRADING. MULCH SHALL BE MAINTAINED UNTIL A SUITABLE VEGETATIVE COVER IS ESTABLISHED.
P LINE CHANNEL TION, REMOVE ER POINTS THEN WOR EQUIRED, MAINTAI	AND OSION CONTROL KING	6. IF SEEDING IS IMPRACTICABLE DUE TO THE TIME OF YEAR, A TEMPORARY MULCH SHALL BE APPLIED AND FINAL SEEDING SHALL BE PERFORMED AT THE EARLIEST OPPORTUNITY WHEN WEATHER CONDITIONS, GERMINATION AND GROWTH ALLOW BUT NOT MORE THAN SIX MONTHS AFTER PROJECT COMPLETION.
RM EVENT UNTIL A FULLY ESTABLISHED BE FLUSHED CLEA ND ALL CONSTRUC LL SILT FROM PERI E PERMANENT DRY OSE OF IN A MAN SILT FENCE MAY B	ALL EROSION D. AN OF ALL SILT TION MANENT BASIN. NER CONSISTENT E REMOVED.	7. ALL SILT FENCES WILL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. REQUIRED REPAIRS WILL BE PERFORMED IMMEDIATELY. SHOULD THE SILT FENCE BECOME INEFFECTIVE PRIOR TO THE END OF ITS EXPECTED USABLE LIFE, IT WILL BE REPLACED PROMPTLY. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT BUT UNDER NO CIRCUMSTANCES SHOULD THE SEDIMENT DEPOSITS EXCEED ONE HALF THE HEIGHT OF THE BARRIERS. ALL SILT FENCES WILL BE MAINTAINED UNTIL ALL UPSLOPE SOILS ARE PERMANENTLY STABILIZED BY VEGETATION.
BE INSTALLED AS OWNER, OR THE LADEN RUNOFF F	ENGINEER TO FROM THE	8. TEMPORARY SEEDING REQUIREMENTS: MIXTURE OF PERENNIAL RYE, KENTUCKY BLUE AND
CH ON-SITE AND AREAS. RGES FROM CONST NY PERSON TO CA LITY STANDARDS. EIVE TEMPORARY C	RUCTION AUSE	 * RED FESCUE GRASSES (EQUAL PORTIONS) AT 20 TO 25 POUNDS PER 1,000 SQUARE FEET. STRAW MULCHING AT 5 POUNDS PER 1,000 SQ. FT. * FERTILIZER (5–10–5) AT 5 POUNDS PER 1,000 SQ. FT.
SHALL NOT REMAIN ED. OR OFF-SITE MUS	N FALLOW FOR ST BE	 FERTILIZER (5-10-5) AT 5 POUNDS PER 1,000 SQ. FT. * INSTALL EROSION CONTROL NETTING ON ALL GRADES 10% OR GREATER.
ENT OF THE GENE IS PROJECT.	πAL	 * PROVIDE PERIODIC WATERING OF THE NEWLY SEEDED AREAS UNTIL GRASS IS MOWABLE. * RESEED ANY WASHED OUT AREAS AS REQUIRED AND UNTIL ALL DISTURBED AREAS HAVE A SATISFACTORY STAND OF GRASS.
		SEEDING REQUIREMENTS FOR ALL AREAS OUTSIDE OF PAVEMENT: MIXTURE OF PERENNIAL RYE, KENTUCKY BLUE AND * RED FESCUE GRASSES (EQUAL PORTIONS) AT 20 TO 25 POUNDS PER 1,000 SQUARE FEET. STRAW MULCHING AT 5
		 FERTILIZER (5-10-5) AT 5 POUNDS PER 1,000 SQL FT.
		* INSTALL EROSION CONTROL NETTING ON ALL GRADES 10% OR GREATER.
		 * PROVIDE PERIODIC WATERING OF THE NEWLY SEEDED AREAS UNTIL GRASS IS MOWABLE. * RESEED ANY WASHED OUT AREAS AS REQUIRED AND UNTIL ALL DISTURBED AREAS HAVE A SATISFACTORY STAND OF
		GRASS.
		THESE PLANS ARE INCOMPLETE/INVALID UNLESS THEY
		CONTAIN THE ENGINEER'S AND LAND SURVEYORS SIGNATURE AND SEAL WHERE APPLICABLE AND SHEETS 1 THROUGH 8 OF 8 NO SITE PREPARATION OR CONSTRUCTION, INCLUDING UTILITY CONNECTIONS, SHALL COMMENCE UNTIL A VALID PERMIT HAS BEEN SECURED FROM THE TOWN OF NEWBURGH
		HIGHWAY DEPARTMENT.
	н 	
		RESERVED FOR TOWN OF NEWBURGH PLANNING BOARD APPROVAL STAMP
3	8/22/19	REVISED AS PER MCGOEY REVIEW LETTER DATED 7/24/19
2	7/2/19 3/14/19	REVISED AS PER MCGOEY REVIEW LETTER DATED 4/29/19 REVISED AS PER MCGOEY REVIEW LETTER DATED 11/9/19
SYMB	DATE	ISSUED FOR
1. A.	PROFESSIONAL	ZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.
	FUS	SCO ENGINEERING & LAND SURVEYING, P.C. CONSULTING ENGINEERS
		PHONE: (845) 344-5863 FAX (845) 956-5865
233 EAST MAIN MIDDLETOWN, NY	10940	
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233 EAST MAIN MIDDLETOWN, NY	T 10940 PROJ DRAWIN TOWN	ECT TITLE: G TITLE: G TITLE: STORMWATER & ESC DETAILS STATE OF NEW YORK COUNTY OF ORANGE APPROVED BY: SCALE: REFERENCE NUMBER
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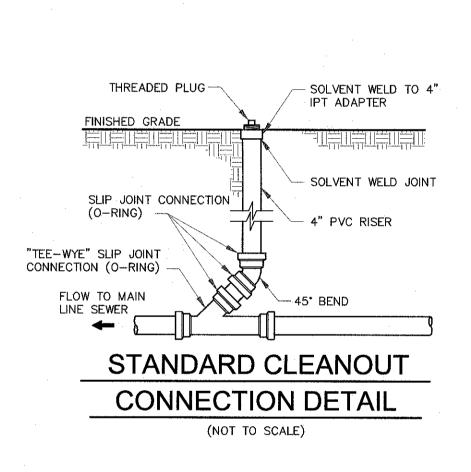


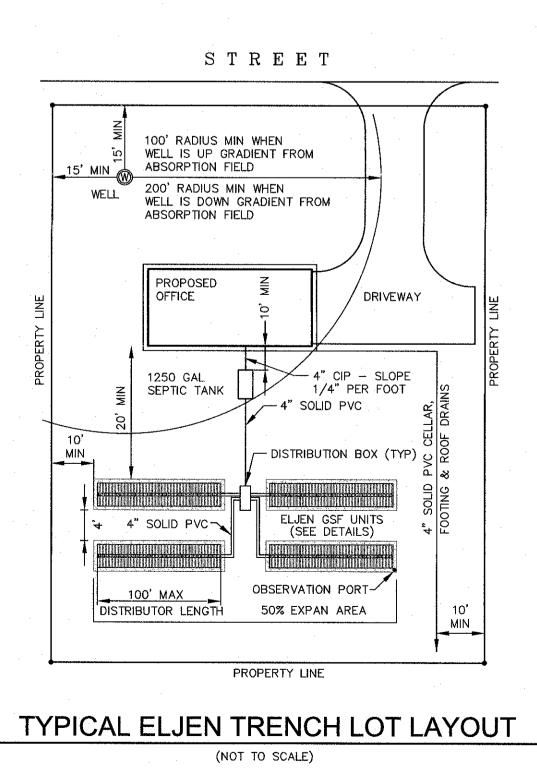


SEPTIC SYSTEM NOTES:

- 1. ALL SEWAGE DISPOSAL SYSTEMS ARE TO BE LOCATED AT LEAST 100 FEET FROM STREAMS AND AT LEAST 35 FEET FROM DRAINAGE EASEMENTS.
- 2. NO MORE THAN ONE (1) SINGLE FAMILY DWELLING PER LOT. 3. NO DRIVEWAYS OR PARKING AREAS ARE TO BE LOCATED OVER THE
- SEWAGE DISPOSAL SYSTEM. 4. ALL TREES ARE TO BE CUT AND REMOVED FROM THE AREA OF THE SEWAGE DISPOSAL SYSTEM IN A MANNER THAT WILL NOT SIGNIFICANTLY
- DISTURB THE VIRGIN SOIL. 5. NO ROOF, CELLAR, OR FOOTING DRAINS ARE TO BE DISCHARGED INTO
- THE AREA OF THE SEWAGE DISPOSAL SYSTEM, OR TOWARD THE WELL. 6. WATER SAVING DEVICES ARE TO BE USED ON ALL WATER FIXTURES.
- SEPTIC TANKS SHALL BE PRECAST CONCRETE AND SHALL BE MANUFACTURED TO WOODARDS CONCRETE PRODUCTS SPECIFICATIONS, OR AN APPROVED EQUAL.
- 8. SEWAGE DISPOSAL SYSTEMS MUST BE DESIGNED BY, LAID OUT IN THE FIELD. SUPERVISED AND INSPECTED DURING CONSTRUCTION AND CERTIFIED AS COMPLETE IN ACCORDANCE WITH THE APPROVED PLANS AND NEW YORK STATE STANDARDS BY A PROFESSIONAL ENGINEER LICENSED IN NEW YORK STATE.
- 9. THIS SEPTIC DISPOSAL SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS, JACUZZI TYPE SPA TUBS (OVER 100 GAL.) OR WATER SOFTENERS. AS SUCH THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SEPTIC DISPOSAL SYSTEM IS REDESIGNED TO ACCOUNT FOR THEM.
- 10. NO GRADING CUTS ARE TO BE MADE IN THE AREA OF THE SEWAGE DISPOSAL SYSTEM. NO FILL IS TO BE PLACED IN THE AREA OF THE SEWAGE DISPOSAL SYSTEM, UNLESS SO INDICATED ON THE PLANS.
- 11. PROPOSED SEWER LATERALS ARE TO BE LAID OUT AND CONSTRUCTED PARALLEL WITH EXISTING GROUND CONTOURS.
- 12. HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELD EXCEPT DURING THE ACTUAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF THE CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING, OR AFTER CONSTRUCTION SO AS TO AVOID ANY UNDUE COMPACTION THAT COULD RESULT IN A CHANGE OF THE ABSORPTION CAPACITY OF THE SOIL ON WHICH THE DESIGN WAS BASED.
- 13. THE DESIGN OF THE SANITARY FACILITIES (WELL AND SEPTIC SYSTEM) SHALL NOT BE CHANGED OR RELOCATED FROM THE APPROVED PLAN WITHOUT PRIOR APPROVAL FROM THE TOWN OF WALLKILL BUILDING DEPT. 14. NO LOT SHALL BE FURTHER SUBDIVIDED WITHOUT APPROVAL FROM THE
- THE TOWN OF WALLKILL PLANNING BOARD. 15. SEPTIC SYSTEMS SHALL NOT BE LOCATED IN AREAS THAT EXCEED 15%
- IN SLOPE. 16. ALL WELLS AND SEPTIC SYSTEMS WITHIN 200 FEET OF THE PROPOSED
- PROJECT HAVE BEEN LOCATED IN THE FIELD AND HAVE BEEN SHOWN HEREON. 17. THE PURCHASER OF THE LOT SHALL BE SUPPLIED WITH A COPY OF
- THE APPROVED PLANS AND AN ACCURATE AS-BUILT PLAN OF ALL EXISTING SANITARY FACILITIES.
- 18. NO SWIMMING POOLS, DRIVEWAYS, OR ANY OTHER STRUCTURE THAT CAN COMPACT THE SOIL SHALL NOT BE LOCATED OVER ANY PORTION OF ABSORPTION FIELD.
- 19. THERE MUST BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC TANK (OR ANY PUMPING OR DOSING CHAMBER) TO THE HOUSE, ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT.
- 20. A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER SHALL INSPECT THE SANITARY FACILITIES (WATER SUPPLY AND WATER TREATMENT, AND SEWAGE DISPOSAL FACILITIES) AT THE TIME OF CONSTRUCTION. PRIOR TO OCCUPANCY OF THE HOUSE, THE ENGINEER SHALL CERTIFY TO THE AND THE LOCAL CODE ENFORCEMENT OFFICER THAT THE FACILITIES ARE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND THAT ALL SEPTIC TANK JOINTS ARE SEALED AND TESTED FOR WATER TIGHTNESS
- 21. INDIVIDUAL WELLS AND SEWAGE DISPOSAL SYSTEMS SHALL NO LONGER BE CONSTRUCTED OR USED FOR HOUSEHOLD DOMESTIC PURPOSES WHEN PUBLIC FACILITIES BECOME AVAILABLE. CONNECTION TO THE PUBLIC SEWAGE SYSTEM IS REQUIRED WITHIN ONE YEAR OF THE SYSTEM

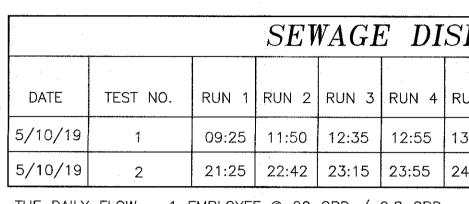
BECOMING AVAILABLE.





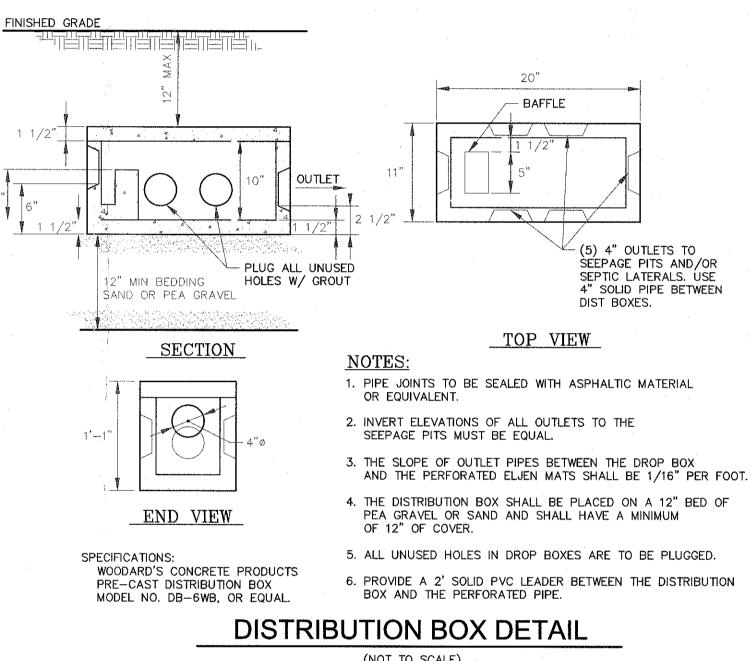
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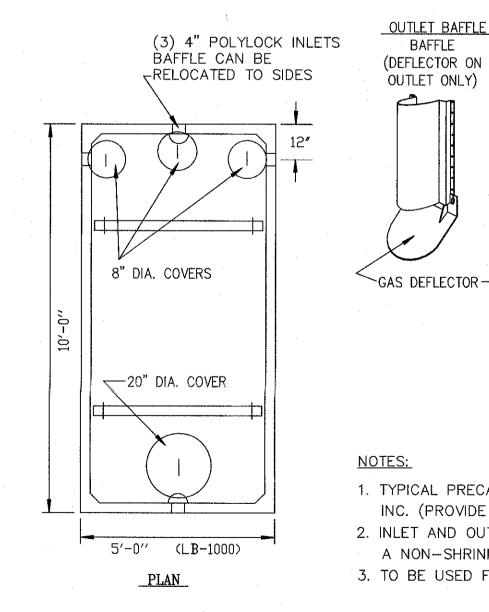




THE DAILY FLOW = 1 EMPLOYEE @ 20 GPD / 0.8 GPD = 25 S.F. REQUIRED 6 UNITS @ 12 S.F. PER UNIT = 72 S.F. PROVIDED

INLET





SPECIFICATIONS	PR
Concrete Minimum Strength: 4,000 psi at 28 days Reinforcement: 6"x6"x10ga. Wire Mesh, #4 Rebar Air Entrainment: 6%	
Construction Joint: Butyl Rubber Sealant Pipe Connection: Polylok Seal (patented) Load Rating: 300 psf Weight = 8,700 lbs for Model ST-1000 Weight = 9,500 lbs for Model ST-1250	Woodard' 629 Lyt 109

NOTES:

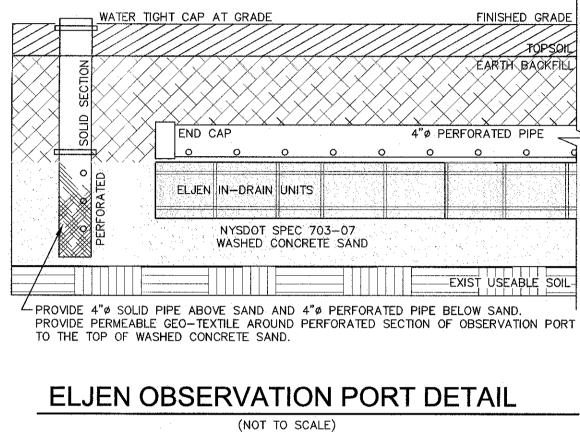
- 1. FLOW EQUALIZATION DEVICES ARE TO BE USED ON AT THE OUTLET PIPES OF THE DISTRIBUTION BOX, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE
- MANUFACTURER'S INSTRUCTIONS. 2. DROP BOXES SHOULD BE EXAMINED BETWEEN 6 TO 12 MONTHS AFTER THEY ARE INSTALLED TO DETERMINE IF THEY REMAIN LEVEL AND, IF NECESSARY,
- TO MAKE ADJUSTMENTS. 3. FLOW LEVELERS SHALL NOT COMPENSATE FOR MORE THAN 1-1/4 INCH DIFFERENCE IN PIPE ELEVATIONS. IN THIS CASE, THE CAUSE OF ELEVATION DIFFERENCES IS TO BE CORRECTED AND THE FLOW LEVELERS AGAIN INSTALLED AND ADJUSTED.

SEPARATION DISTANCES FROM WASTE WATER SYSTEMS COMPONENTS TABLE

SYSTEM COMPONENTS	WELL OR SUCTION LINE	STREAM, LAKE WATER COURSE OR WETLANDS(b)	DWELLING	PROPERTY LINE
HOUSE SEWER (WATER TIGHT JOINTS)	25' CAST IRON 50' OTHERWISE	25'	3'	10'
SEPTIC TANK	50'	50'	10'	10'
EFFLUENT LINE TO DISTRIBUTION BOX	50'	50'	10'	10'
DISTRIBUTION BOX	100'	100'	20'	10'
ABSORPTION FIELD	100'(a)	100'	20'	10'
DRY WELL (ROOF AND FOOTING DRAINS)	50'	25'	20'	10'

(a) WHEN SEWAGE TREATMENT SYSTEMS ARE LOCATED IN COURSE GRAVEL OR UPGRADE IN A GENERAL PATH OF DRAINAGE TO A WELL, THE CLOSEST PART OF THE TREATMENT SYSTEM SHALL BE AT LEAST 200' AWAY FROM THE WELL. (b) MEAN WATER HIGH MARK

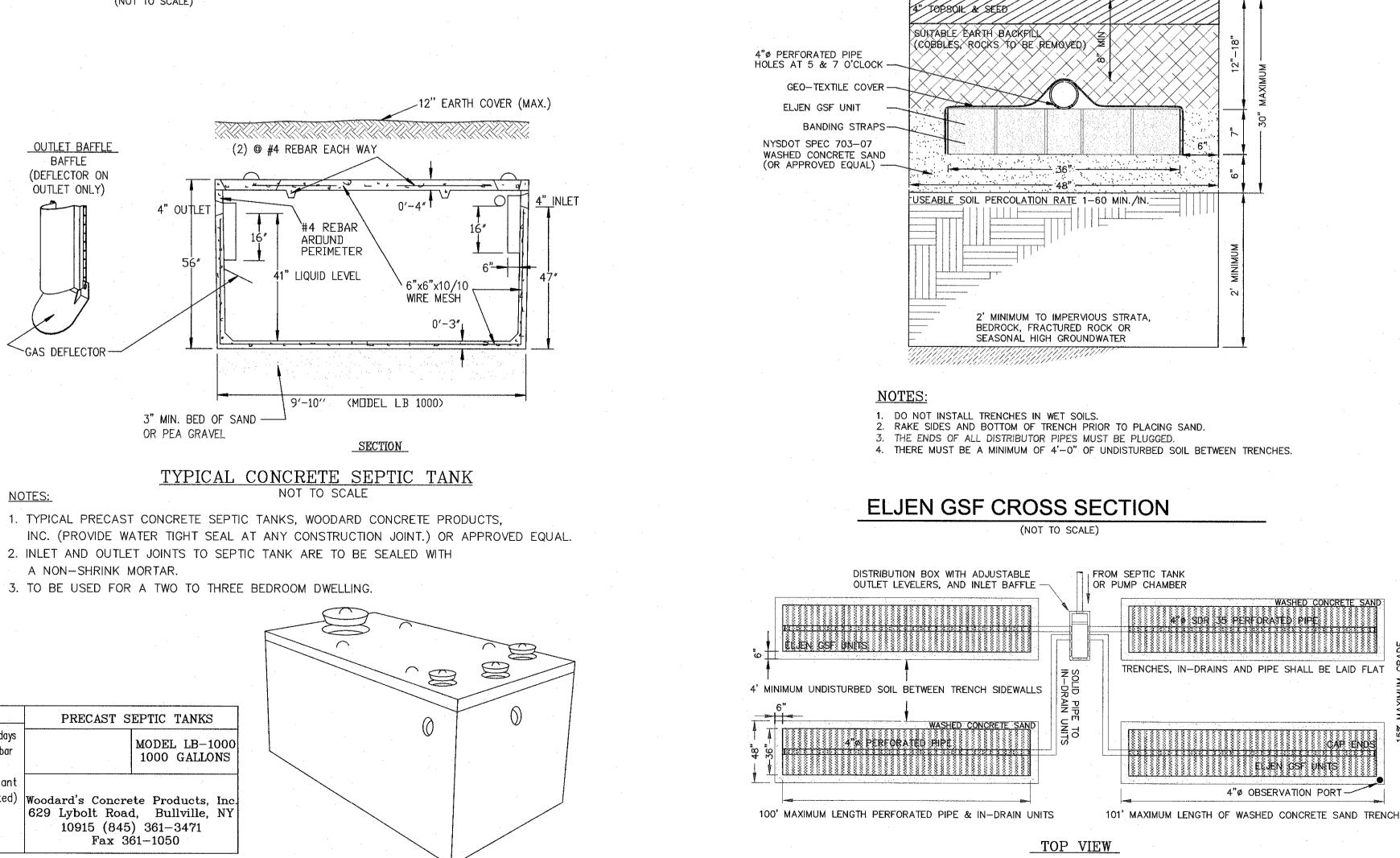
(c) A MINIMUM SEPARATION OF 35' BETWEEN STORM WATER DRAINAGE MEAN HIGH WATER MARK (EG. SWALES, CULVERTS DETENTION PONDS) AND ABSORPTION FIELDS IS REQUIRED.



ELJEN NOTES:

- 1. NEW ELJEN SANITARY DISPOSAL SYSTEMS REQUIRE A 50% FUTURE REPLACEMENT AREA.
- 3. THERE SHALL BE NO GARBAGE GRINDERS ALLOWED.
- 4. ALL TRENCHES AND ELJEN GSF UNITS SHALL BE INSTALLED LEVEL.
- 5. THE ELJEN SYSTEM SAND BED FILL MATERIAL SHALL BE NYSDOT SPEC 703-07.
- 6. PERFORATED PIPE SHALL BE SECURED TO THE GSF UNITS BY THE WIRE CLAMPS PROVIDED BY ELJEN.
- 7. THE NUMBER OF UNITS REQUIRED IS REACHED BY DIVIDING THE TOTAL REQUIRED ABSORPTION TRENCH LENGTH BY 4 AND ROUNDING UP TO THE NEAREST WHOLE NUMBER.
- 8. GSF UNITS SHALL BE INSTALLED SUCH THAT THE PERFORATED PIPE IS PERPENDICULAR TO THE BIO-MAT AND CUSPIDATED CORE.
- 9. BACKFILL MATERIAL SHALL BE CLEAN, FREE OF ANY LARGE STONES OR DEBRIS.
- 10. THERE SHALL BE A MINIMUM OF 4" TOPSOIL AND SHALL BE SEEDED. 11. THE ELJEN GSF UNIT ABSORPTION TRENCH LENGTH IS BASED ON A 4' WIDE TRENCH.
- 12. PERMEABLE GEO-TEXTILE FILTER FABRIC SHALL BE DRAPED OVER TOP AND SIDES OF
- GSF UNIT AND PERFORATED PIPE TO PREVENT ANY SILTATION. 13. ALL UNUSED OUTLETS IN DISTRIBUTION BOX AND LINE ENDS SHALL BE CAPPED.

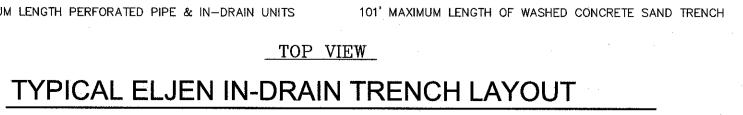
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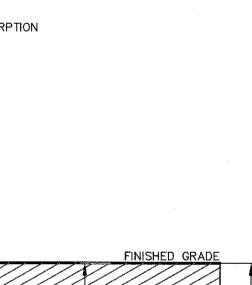
SEWAGE DISPOSAL DESIGN CRITERIA

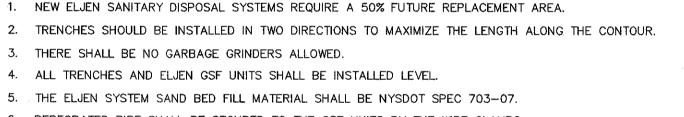
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21-30	
4:10 24" 24:10	

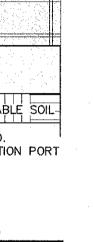
- 6. PROVIDE A 2' SOLID PVC LEADER BETWEEN THE DISTRIBUTION

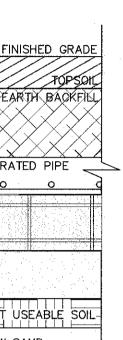


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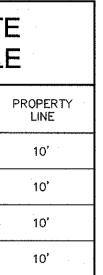


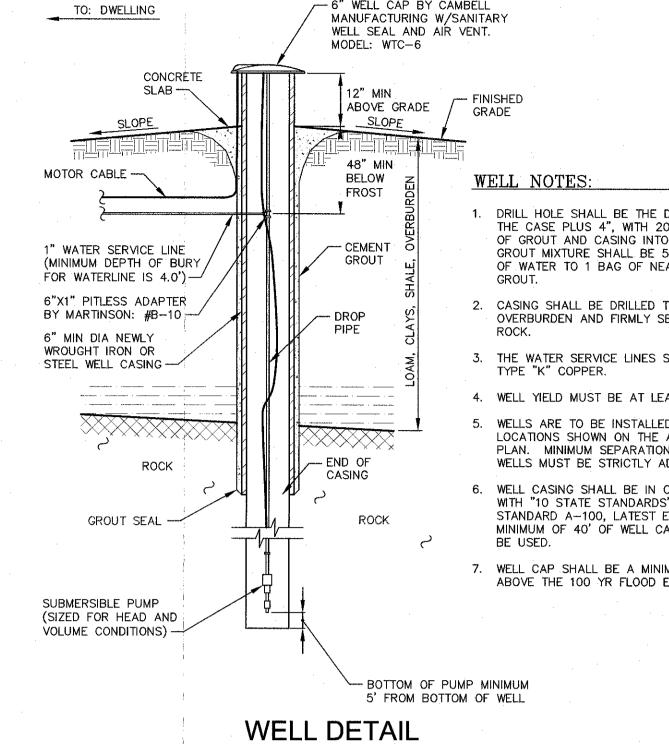












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ASTM-C33 SAND SPEC.					
SIZE	SIZE	PERCENT PASSING WET SIEVE			
)	9.5 mm	100.0-100.0			
1	4.75 mm	95-100.0			
3	2.36 mm	80.0-100.0			
16	1.18 mm	50.0-85.0			
30	600 µm	25.0-60.0			

ASTM-C33 SAND SPEC.					
SIEVE SIZE	SIZE	PERCENT PASSING WET SIEVE			
0.375	9.5 mm	100.0-100.0			
NO. 4	4.75 mm	95-100.0			
NO. 8	2.36 mm	80.0-100.0			
NO. 16	1.18 mm	50.0-85.0			
NO. 30	600 µm	25.0-60.0			
NO. 50	300 µm	5.0-30.0			
NO. 100	150 µm	< 10			
NO. 200 (WET)	75 um	< 5.0			

ASTM	-C33 SA	ND SPEC.
IEVE SIZE	SIZE	PERCENT PASSING WET SIEVE
375	9.5 mm	100.0-100.0
D. 4	4.75 mm	95-100.0
D. 8	2.36 mm	80.0-100.0

SIEVE SIZE	SIZE	WET SIEVE
0.375	9.5 mm	100.0-100.0
NO. 4	4.75 mm	95-100.0
NO. 8	2.36 mm	80.0-100.0
NO. 16	1.18 mm	50.0-85.0
NO. 30	600 µm	25.0-60.0
NO. 50	300 μm	5.0-30.0
NO. 100	150 µm	< 10
NO. 200 (WET)	75 µm	< 5.0

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