

RICHARD D. McGOEY, P.E. (NY & PA) WILLIAM J. HAUSER, P.E. (NY, NJ & PA) MARK J. EDSALL, P.E. (NY, NJ & PA) MAIN OFFICE 33 Airport Center Drive Suite 202 New Windsor, New York 12553

(845) 567-3100 fax: (845) 567-3232 e-mail: mheny@mhepc.com

TOWN OF NEWBURGH PLANNING BOARD REVIEW COMMENTS

PROJECT: DICHIARO SUBDIVISION

PROJECT NO.: 14-20

PROJECT LOCATION: SECTION 3, BLOCK 1, LOT 35.22

PROJECT REPRESENTATIVE: MERCURIO-NORTON-TAROLLI-MARSHALL

REVIEW DATE: 3 NOVEMBER 2014 MEETING DATE: 6 NOVEMBER 2014

- 1. Comments from Orange County Department of Public Works should be received as to driveway access. A permit from the Public Works is required.
- 2. Plans have been revised pursuant to our 16 September 2014 comments.
- 3. Orange County Planning submission was made on 9 October 2014. Timeframe for County review will not have expired as of the date of this meeting, unless comments have been received.
- 4. Road name is required. Submission of a road name to the Town Board for approval should be a condition of approval.
- 5. Planning Board should perform architectural review of the proposed duplex for Lot 2.

Respectfully submitted,

| | Goey, Hauser and Edsall nsulting Engineers, D.P.C. | | | |
|----------------------------|--|--|--|--|
| Patrick J. Hines Principal | | | | |





45 Main Street • P.O. Box 166 Pine Bush, New York 12566 Tel: (845) 744-3620

Fax: (845) 744-3805 Email: mnt-pc@mnt-pc.com

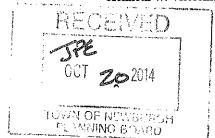
Alphonse Mercurio, L.S. William G. Norton, L.S. (NY & PA)

John Tarolli, P.E., L.S.

Lawrence J. Marshall, P.E. Kenneth W. Vriesema, L.S.

October 20, 2014

Planning Board Town of Newburgh PO Box 247 Wallkill, New York 12589-0247



Re: Job No. 3720

Lands of Marguerite DiChiaro
Tax Map Parcel: 3-1-35.22
Town of Newburgh, Forest Road
3-Lot Residential Subdivision
Newburgh Project No. 2014-20

Dear Board Members:

Enclosed please find the following items in reference to the above-captioned project:

- 1. Twelve (12) copies of the revised Subdivision Plan
- 2. Twelve (12) copies of the Architectural Review Form
- 3. Twelve (12) copies of the Building Renderings & Exterior Material List
- 4. One (1) copy of the Draft Common Driveway Maintenance Agreement

The following comments are in response to a review by Patrick Hines of McGoey, Hauser, & Edsall Consulting Engineers, dated September 16, 2014:

- 1. No response required.
- A copy of the plans was submitted to the Orange County Department of Works on September 8, 2014 for review. As of the date of this letter, no response has been received.
- 3. No response required.
- 4. A draft copy of the Common Driveway Maintenance Agreement has been included in this submission. A copy of the document has also been forwarded directly to Mr. Donnelly for review.
- 5. The two (2) existing 12" HDPE culverts from the existing pond will be extended to outlet below the proposed driveway for Lot 3. The existing and proposed culverts have been added to the Driveway Profiles on sheet 2.
- 6. Note 11 has been added on sheet 1 stating the existing stone wall along the proposed driveway for lot 3 shall be preserved. The note states that any damaged sections of the wall shall be rebuilt to pre-construction conditions.

- 7. An NOI has been prepared for the project. An MS4 Acceptance Form will be required prior to submitting to NYSDEC for permit coverage.
- 8. Note 10 on sheet 1 has been added stating the proposed two-family dwelling on Lot 2 shall be staked out by a N.Y.S. Licensed Land Surveyor prior to construction.
- 9. The proposed 1,500 gallon septic tank on Lot 2 has been labeled on sheet 1.
- 10. The proposed type of system for Lot 3 has been revised in the Sewage Disposal System Requirements Table on sheet 3.

The project last appeared for discussion at the September 18, 2014 Planning Board meeting. At that time, the Board indicated the proposed Common Driveway serving Lots 1 & 2 will require a Private Road name. The following is a list of names proposed by the applicant, with the most preferred at the top:

- 1. Rock Ridge Road
- 2. Stone Ridge Road
- 3. Rock Hill Road
- 4. Stone Hill Road
- 5. Granite Ridge Road

We are scheduled to appear at the November 6, 2014 Planning Board meet for a Public Hearing.

If you have any questions or concerns, please feel free to contact me at (845) 744-3620 or by email at zpeters@mnt-pc.com.

Sincerely,

Zachary A. Peters, P.E.

ZP/zp Enc.

cc: Marguerite DiChiaro
Patrick Hines (w/ enc.1 & 2)
Michael Donnelly, Esq. (w/enc. 3)

ARCHITECTURAL REVIEW FORM TOWN OF NEWBURGH PLANNING BOARD

| DATE: | | | |
|------------------------|------------------------|--|-----|
| NAME OF PROJEC | T: DICHIARO | SUBDIVISION | |
| The applicant is to si | nhmit in writing the | following items prior to signing of the si | ite |
| | and the manning one | tomoving terms prior to bigining or the bi | |
| plans. | | _ | |
| | | | |
| EXTERIOR FINISE | I (skin of the buildin | ng): | |
| Type (steel, | wood, block, split blo | lock, etc.) | |
| VINYL SIDIN | <u> </u> | | |
| | | | |
| COLOR OF THE E | XTERIOR OF BUIL | LDING: | |
| NATURAL CLI | A. F SANDSTO | NE BEIGE | |
| | 7 | | |
| ACCENT TRIM: | | | |
| Location: _ | | | |
| Color: _ | | | |
| Type (mate | rial): VINYL | | |
| | | | |
| DAD A DETE (all wooff) | tan maahaniaala ara | to be screened on all four sides): | |
| • | - | · | |
| N/A | - | | |
| | | | |
| ROOF: | | | |
| Type (gable | ed, flat, etc.): | GABLED | |
| Material (sl | ningles, metal, tar & | sand, etc.): ASPHALT SHINGLES | |
| | DRIFTWOOD | | |

| WINDOWS/SHUTTERS: |
|--|
| Color (also trim if different): GREEN (SHUTTERS), WHITE (WWDWS) |
| Type: VINTL |
| |
| DOORS: |
| Color: WHITE |
| Type (if different than standard door entrée): FRONT DOORS : PATIO DOORS |
| SIGN: |
| Color: |
| Material: |
| Square footage of signage of site: |
| |
| |
| MARGUERITE DICHIARO, OWNER |
| Please print name and title (owner, agent, builder, superintendent of job, etc.) |
| Signature |



October 15, 2014

Marguerite DiChiaro Forest Road Lot #2 Newburgh, NY 12550

Dear Marguerite,

I appreciate the opportunity to work with you on your new home. As per your request I've listed the exterior materials below.

Roof Shingles: Owens Corning Asphalt 30 Year Architect Roof Shingles / Driftwood Siding: CertainTeed Vinyl / Natural Clay (Monogram) / Sandstone Beige (Northwoods)

Corner Boards: Vinyl / White Shutters: Vinyl / Green (Louvered) Picture Frames: Vinyl / White

Soffit: Vinyl / White Fascia: Aluminum / White Drip Edge: Aluminum / White

Front Door: ThermaTru / Fiberglass / White

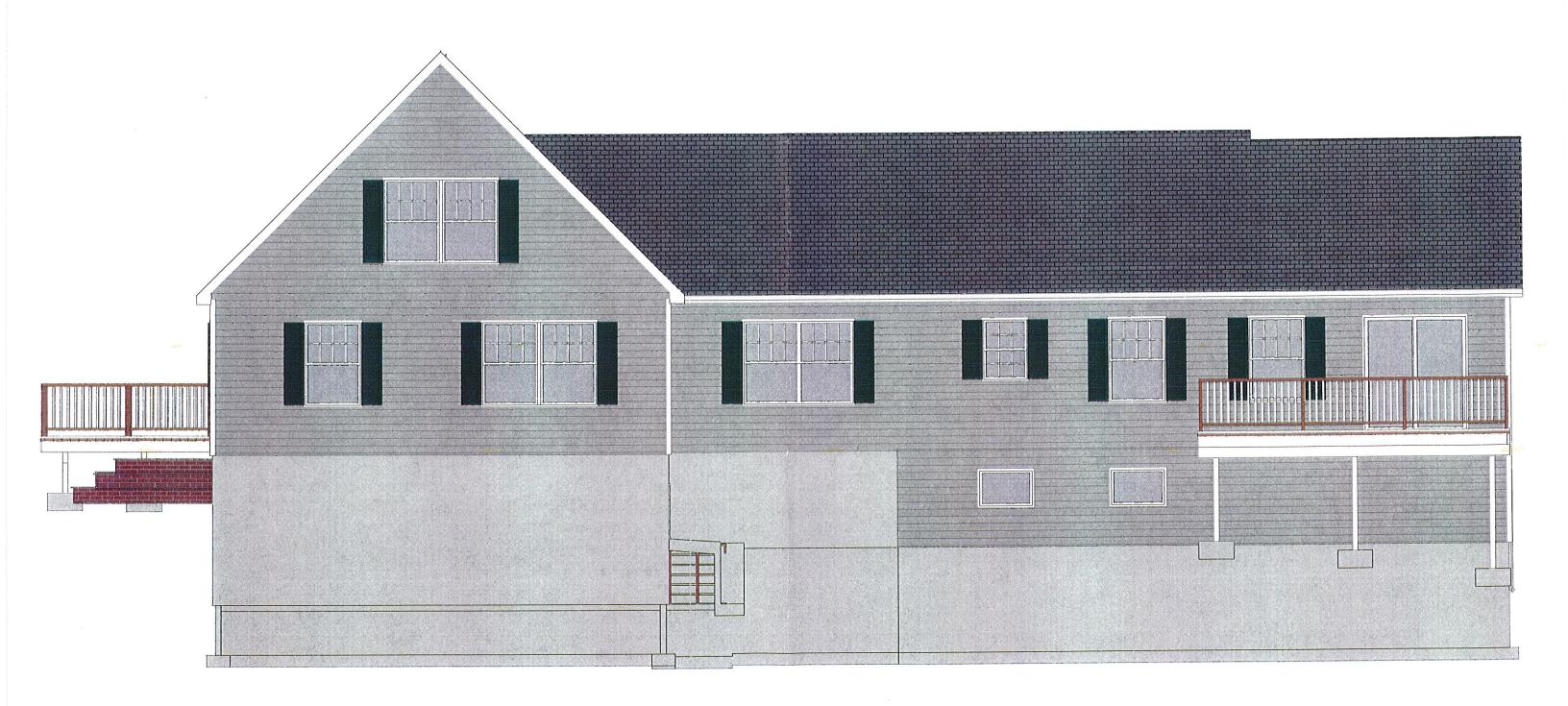
Patio Door: Andersen / White

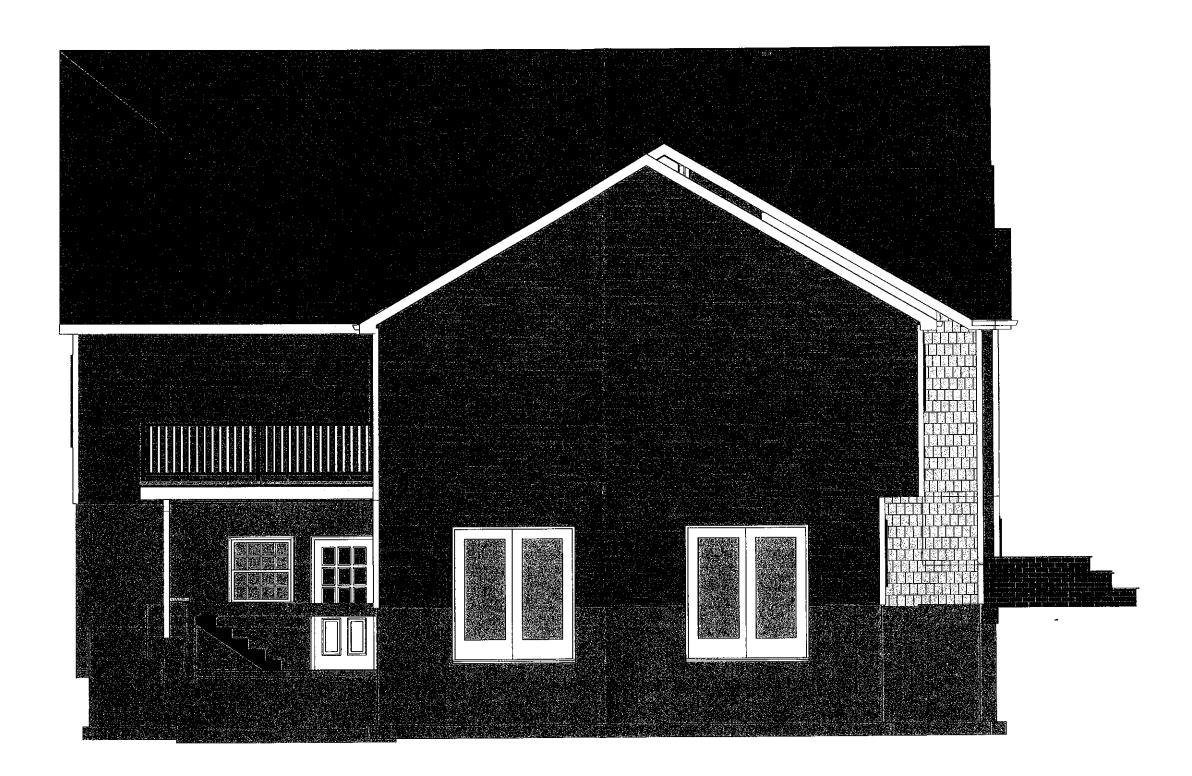
Please feel free to call or email me with any questions.

Very truly yours,

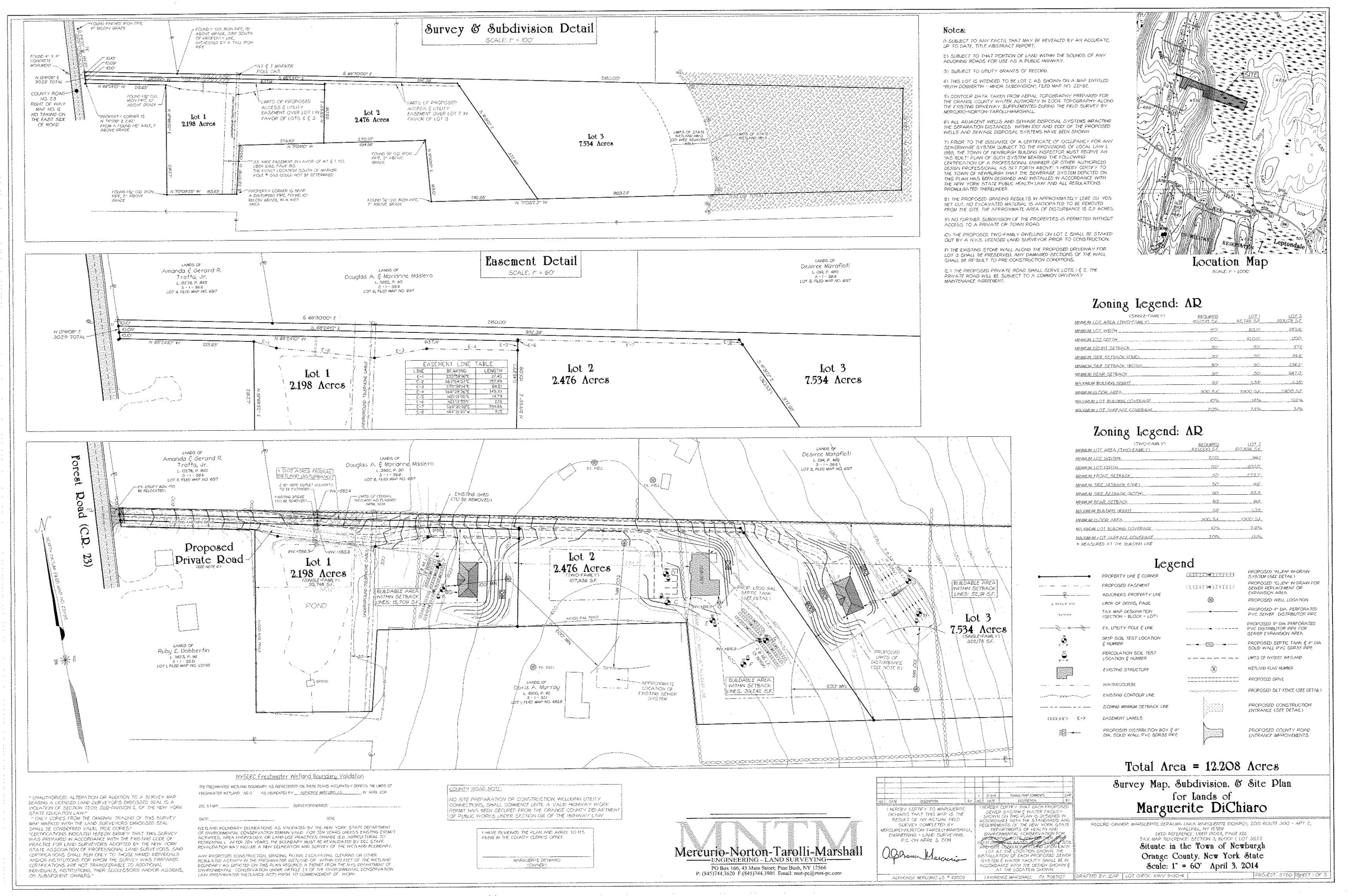
Patrick Hatcher Sales Manager

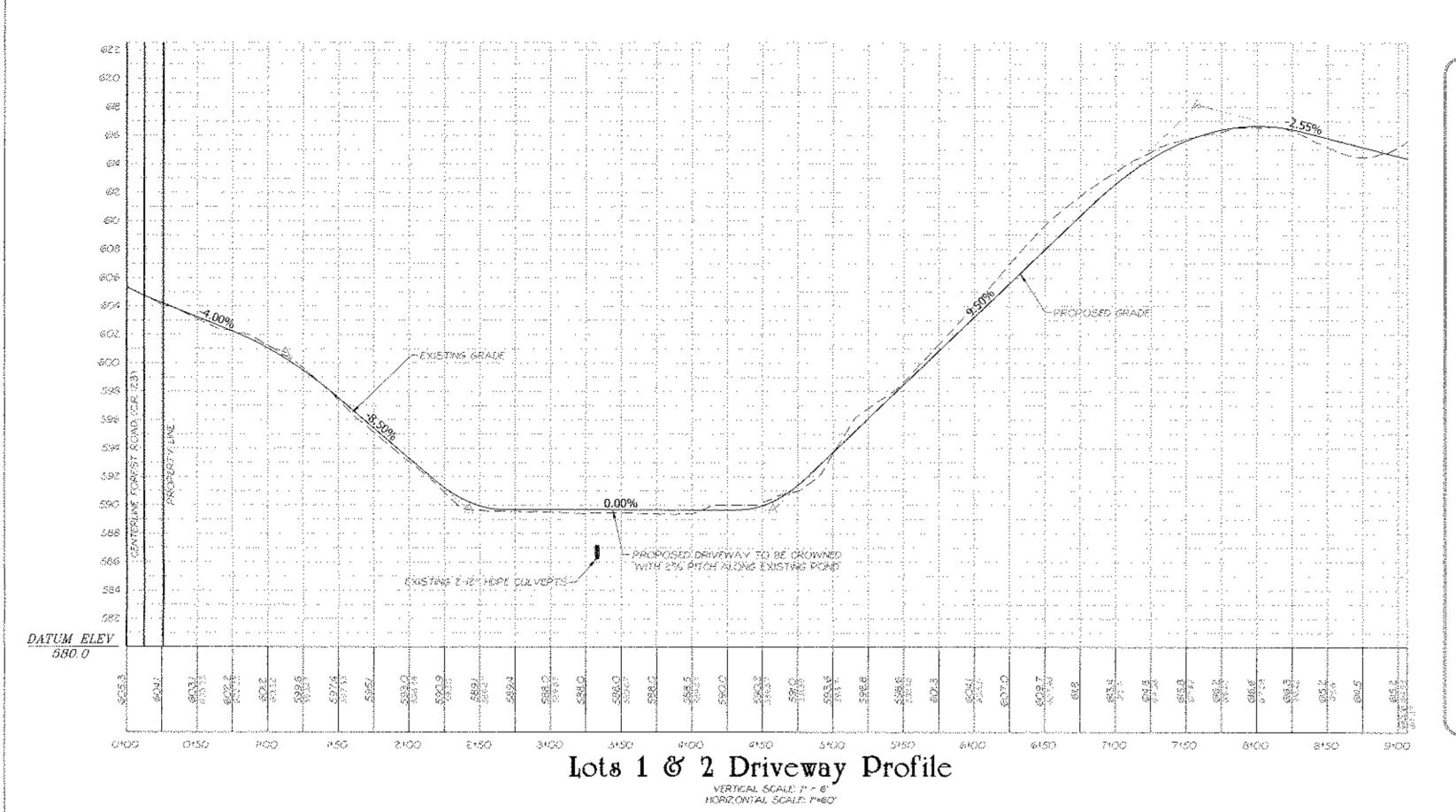


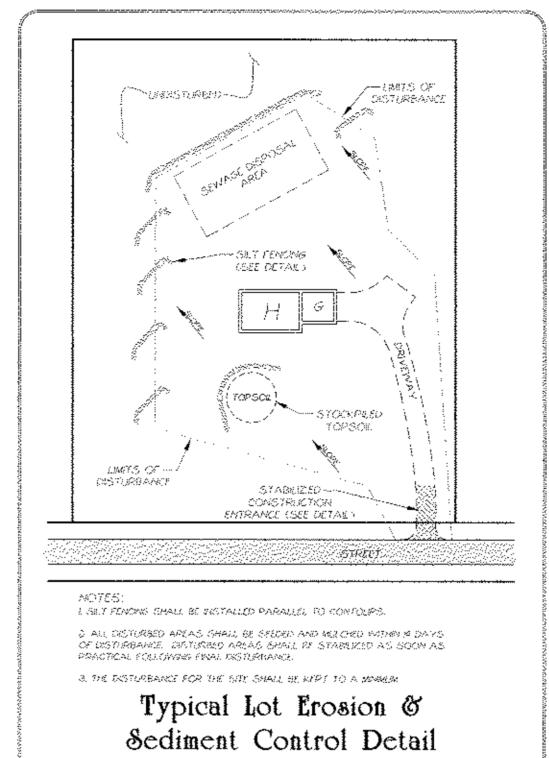


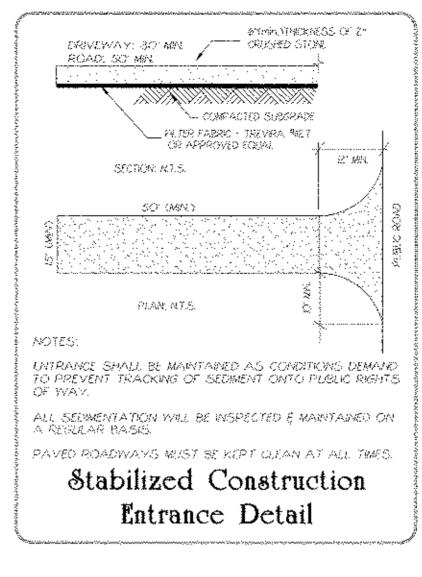


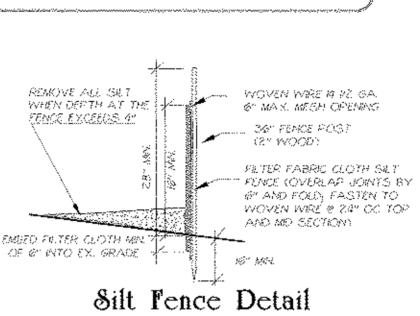


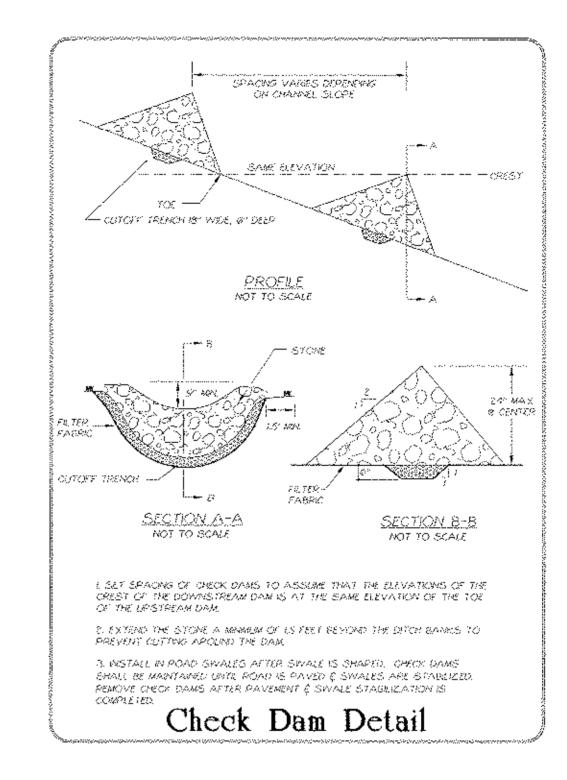


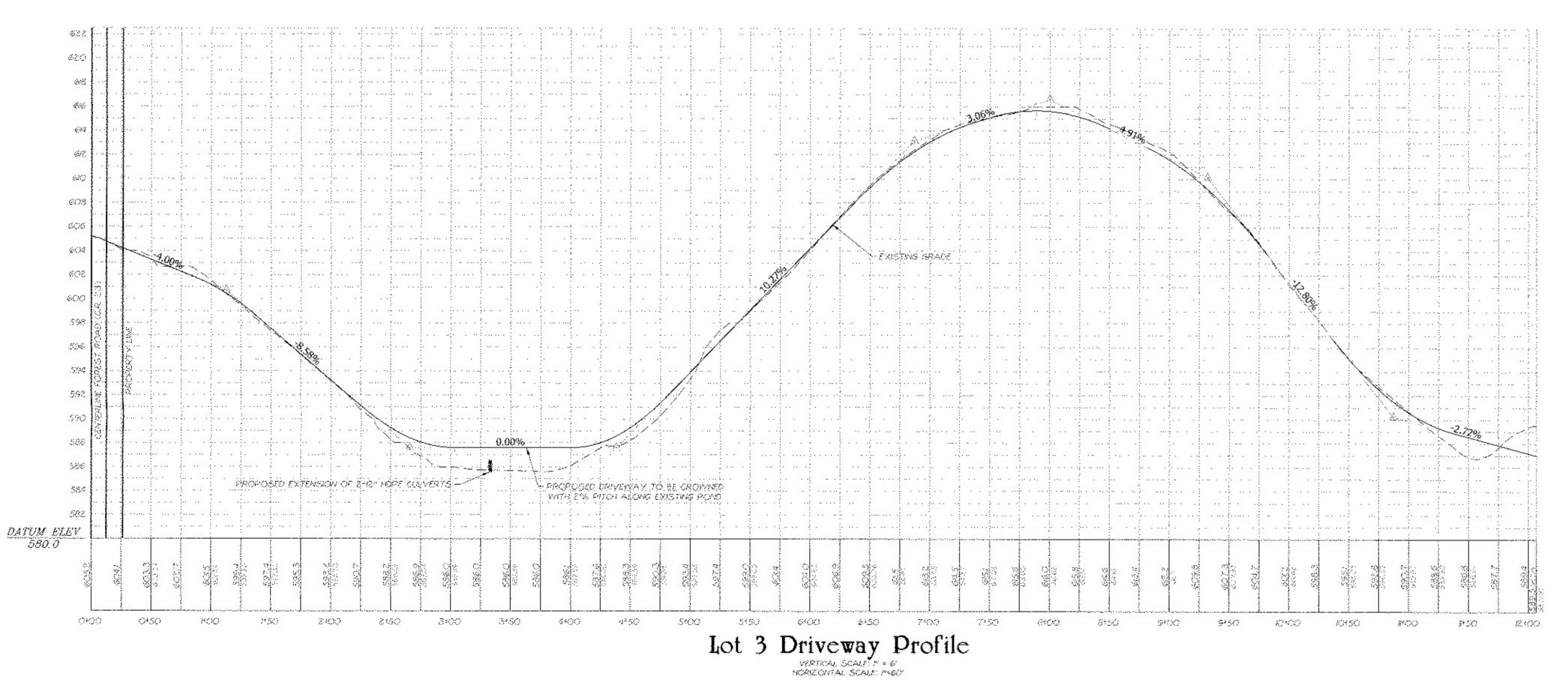






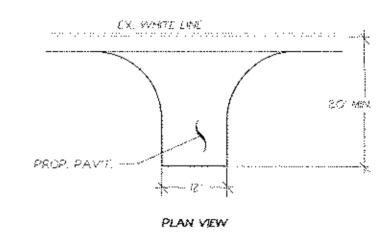






| i | 4% SLOPE FOR 25 EDGE OF ROAD FAY | | |
|---------------|---|------------|-----------|
| | OF SUBBASE FOLADATION OF THE SUBBASE FOLADATION OF THE SUBBASE FOLADATION OF THE SUBBASE OF THE | TOP COURSE | Œ. |
| | NAPES VAPES | VARES | VA8ES |
| SPANNER STORY | 'AY SUPFACE TO FOLLOW DE (SEE PROFILE) | SHOULDER | 4 AVENEUT |
| MOTES: | WAS EXTREME SURVEYOR BUT 1 | | |

Driveway Entrance Detail



ENTRANCE PAYEMENT NOTES: ID PAYEMENT: SHALL CONSIST OF IC!! COMPACTED ITEM 4 SUBBAGE AND 2" ASPHALT TOP COURSE

23 THE DRIVEWAY SHALL HAVE A GRADE OF -4.0% FROM THE EDGE OF THE TRAVEL LANE OWNERS FOR A MINMEN OF 25 FEET.

Proposed County Road

Entrance Detail

FOREST ROAD POSTED SPEED LIMIT: 45 MPH

SIGHT LIME DISTANCE NOTES

1 > LOCO'

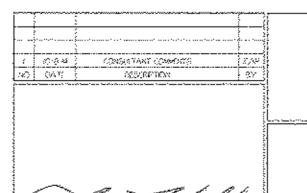
2 > LOCO'

3 > LOCO'

4 > LOCO'

Driveway Sight Distance Table





LAWRENCE MARSHALL PE #087/07 DRAFTED BY: ZAP

Detail Sheet for Lands of Marguerite DiChiaro

RECORD OWNER: MARGUERITE DEPALMA (AKA MARGUERITE DICIARO), 2051 ROLITE 300 - APT 2,
WALLKEL, NY 12583
DEED REFERENCE: LIBER 13024, PAGE 1855
TAX MAP REFERENCE: SECTION 3, BLOCK L LOT 35.22

Situato in the Town of Newburgh
Orange County, New York State

April 2014

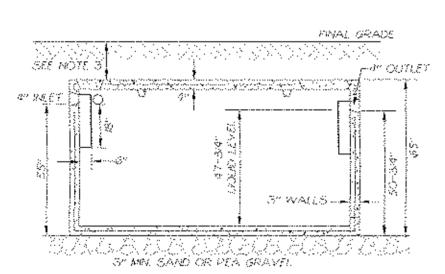
April 2014 | PROJECT: 3720 | SHEET 2 OF 1

Deep Soils Testing Results

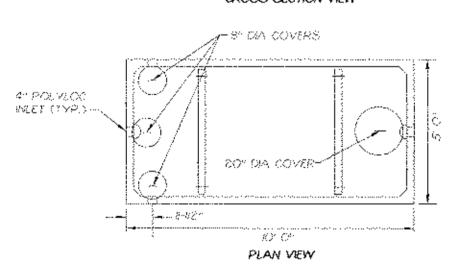
| • | ~ | | | | | | |
|---|--|---|--|--|---|--|---------------|
| TEST HOLE # | A | 8 | | | | F | g |
| TESTING DATE: | 64-77-80 | 08-27-13 | 08-27-18 | 08-27-43 | 08-27-J3 | 08-27-13 | 08-27-6 |
| PESTER: | ZAP | ZAP | ZAP | ZAP | ZAP | ZAP | ZAP |
| DEEP TEST SOIL LOG (NO WATER OR ROCK (194855 50 NOTEN) | O TOPSCO. I GRAVELY SIT LOAM CLAYEY SIT LOAM ST TOPSCO. I GRAVELY SIT LOAM TOPSCO. TOPS | T GRAVELLY SET LOAM T SHI LOAM T SHALE T SHALE | TOPSON TOPSON | SANDY LOAM SANDY LOAM SUT LOAM TO SUT LOAM TO SUT LOAM | 5 - 10/508 5 - 5/4/0 Y LOAM 5 - 45' | 0 TOPSOR 1 SANDY SET 1 OAM 3 SET LOAM 5 SET LOAM 6 77 | 7 70PSOX 7 |
| NOTES: | *WELP @ 48" | HAO W,M | *NO R,W,M | *NO R,W,M | *NO RWM | NO RWM | */40 R,W,M |

Percolation Testing Results

| 71.673 | OE I | Λ | 3 | C | ξ | 6 | G | Į- <u>;</u> | J |
|---------------------------------------|-------------------------|---------------|-------------|----------|----------|----------|----------|---------------|------------|
| TESTIA | IG DATE: | 08-27-43 | 08-27-13 | 08-27-3 | 08-27-3 | 08-27-13 | 08-2743 | OS-13-M | C5-13-X |
| 05P TH | | | | 24" - KW | 24" - kW | | 24" - KW | 24" - LEON | 24" - EEON |
| 2 < | RUN I ELAPSED TIME: | <i>\$</i> 100 | 4:3 | 4049 | 2::00 | 2745 | 2743 | 5:24 | 2033 |
| ESULTS PREASON | RUN 8 TEAPSTO TWE: | 20:36 | S/5 | 4490 | 22:39 | 23:23 | 2.9119 | 917 | 81:45 |
| ST K | RUN 3 ELAPSED TIME: | 2500 | 6,80 | 40:57 | 7350 | 23:48 | 30:50 | R:53 | 8817 |
| N N N N N N N N N N N N N N N N N N N | RUN 4 ELAPSED 7ME: | | 6156 | | | | 393 | i3:0l | |
| ATIC SYNNS NATO ARE | RCS4 5 ELAPSED 784E: | | | | | | | #i32 | |
| | RUN 6 ELAVSID TME: | | | | | | | W.58 | |
| 800 | RUN 7 CLAPSED TIME: | | | | | | | <i>15</i> :28 | |
| ····· | STARLEED RATE. | 21:00 | <i>6:56</i> | 44:37 | 2310 | 23:48 | 378 | 15:26 | 27.57 |



CROSS SECTION VIEW



L'ALL PIPE JOINTS (INLET É OUTLET PIPES) SHALL BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.

2. INLET SAFFLE CAN BE RELOCATED TO THE SIDE.

PROPOSEA

DISTRIBUTOR PIPE

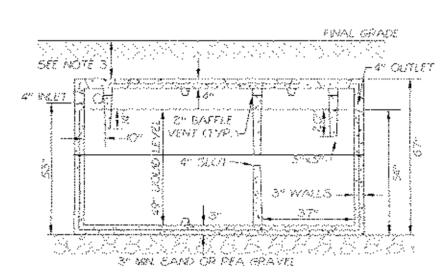
SEWER RESERVE AREA ______ SEWER RESERVE AREA

PROPOSED SEVIAGE DISPOSAL SYSTEMS

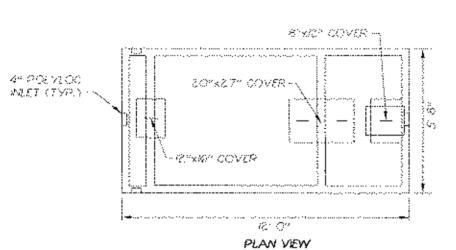
3. If COMER EXCEEDS 12", A RISER MUST BE USED TO ALLOW ACCESS. CONCRETE MINIMUM STREWETH, 4,000 P.S.LAT ZE DAYS (STEEL PENFORCEMENT: 6" Y 5" XIO GA. STEEL WIRE MESH. 44 REBAR AROUND PERIMETER CONSTRUCTION JOINT: SEALED WITH BUTYL PURBER CEMENT!

Typical Precast 1,250 Gallon Concrete Septic Tank

AS MANUFACTURED BY "WOODARDS CONCRETE PRODUCTS, INC.", BULLVILLE, K.Y. MODEL STIESO FOR APPROVED EQUALLY NOT TO SCALE



CROSS SECTION VIEW



L'ALL PPE JOINTS (NEET É OUTLET PIPES) CHALL. BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.

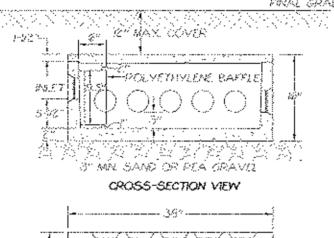
2. WEET RAFFLE CAN BE RELOCATED TO THE SIDE.

IS IF COVER EXCEEDS RIVE A RISER MUST BE USED TO ALLOW ACCESS. CONCRETE MEMBUM STRENGTH: 4,000 P.S.LAT 23 DAYS

STEEL REINFORCEMENT: GUSKICGA, WWM AN INTRADMENT 5% CONSTRUCTION WONT: SEALED WITH BUYTL RUSBER CEMENT) PIPE CONNECTION. POLYLOK SFAL (PATENTED). LOAD RATING: 300 PSF

Typical Precast 1,500 Gallon Concrete Septic Tank

AS MARIFACTURED BY TWOODARDS CONCRETE PRODUCTS, MCT, BULLVELF, N.Y. MODEL STYSOO FOR APPROVED EQUALS NOT TO SCALE





DSSTRIBUTION BOX NOTES: DITHE PIPST FOLOR ALL LINES LEAVING THE DISTRIBUTION BOX. SHALL BE LAID AT IDENTICAL SLOPE. FLOW EQUALIZERS. SHALL BE USED TO ASSURE EQUAL FLOW TO EACH OUTLET. PIPE, YEARLY CHECKING AND ADJUSTMENT IS RECOMMENDED.

CO ALL PIPE JOINTS ONLET É OUTLETY SHAUL BE SEALED WITH ASPHALTIC MATERIAL OF FOURVALINT.

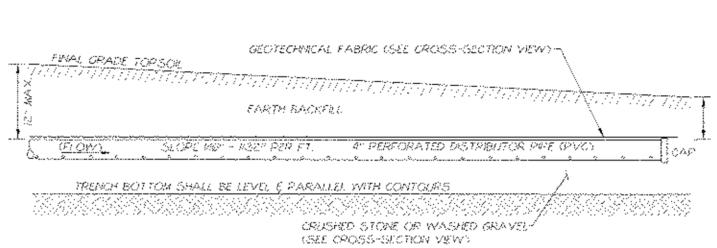
30 FLOW EQUALIZERS MIGST BE USED.

4) OUTGET INVERTS SHALL BE SET AT THE SAME ELEVATION. 5) OUTLETS MUST BE USED IN A MARNER TO ALLOW ACCESS TO THE NECESSARY NUMBER OF OUTLETS FOR THE

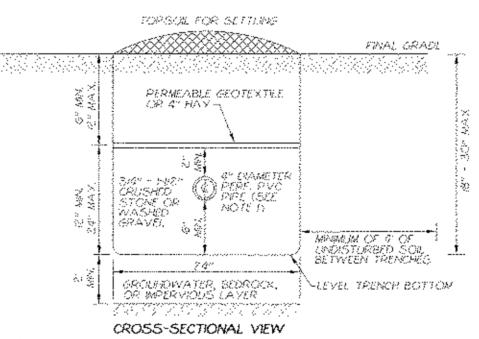
Typical Precast Concrete Distribution Box

EXPANSION AREA WITHOUT DISTURBING THE IMPIAL SYSTEM.

AS MANUFACTURED BY TYPOCOARDS CONCRETE. PRODUCTS, MCK BULLVELL, MYT MODEL DEVIS FOR APPROVED EQUALS NOT TO SCALE



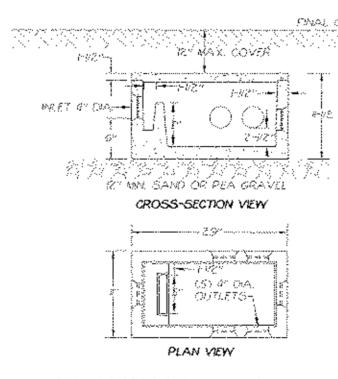
TRENCH PROFILE



IN DISTRIBUTION PIPE SHALL BE INSTALLED WITH PIPE PERFORATIONS FACING DOWN. 20 DO NOT INSTALL TRENDRES IN WET SOIL TRENON SIDES AND BOTTOMS SHALL BE RAKED PIRKIN TO INSTALLATION OF GRAVEL.

3) THE END OF EACH LATERAL SHALL BE CAPPED.

Absorption Trench Detail



NOTE: THE FIRST IO OF ALL UNES LEAVING THE DISTRIBUTION BOX SHALL BE LAID AT IDENTICAL SLOPE. FLOW EQUALIZERS SHALL BE USED TO ASSURE EQUAL FLOW TO EACH OUTLET PIPE. YEARLY CHECKING AND NOTE: ALL PIPE KONTS WILLT IS CUITLET PIPES) SHALL BE SEALED WITH ASPHALTIC MATERIAL OR EGIDVALENT

MOTE: TLOW EQUALIZERS MUST BE USED (SEE NOTE R) Typical Precast Concrete Distribution Box

AS MANUFACTURED BY "WCCOARDS CONCRETE - PRODUCTS, INC." BULLVILLE, N.Y." MODEL DB-S (OR ÁPPROVED EGUAL) NOT TO SCALE

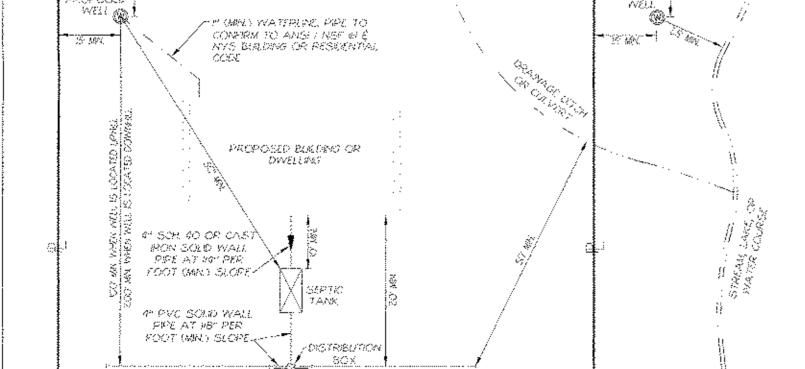


COMMENTAND COMMENTS

Well & Sewage Disposal System Details for Lands of Marguerite DiChiaro

WALLKILL, NV 12569 DEED REFERENCE: LIBER 13024, PAGE 155

AWRENCE MARSHAUL PEROSTICIT BORAFTED BY, ZAP



Generic Plot Plan

91 PERFORATED

CUSTRIBUTOR PER

HE THE GENERIC PLOT PLANTIS INTENDED FOR ILLUSTRATION PURPOSES ONLY, FOR SPECIFIC DESIGN INFORMATION ON THE PROPOSED SEWAGE DISPOSAL SYSTEM, SEE THE SEWAGE DISPOSAL SYSTEM REQUIREMENTS TABLE, DETAILS, AND NOTES ON THIS SHEET.

Sewage Disposal System Requirements

| LOT NUMBER | PERSON STABILIZED PERSOLATION RATE (MAN) | 7777 CF 57576# * | NUMBER BEDROOMS | DESIGN FLOW RATE (GPE) | MPN, LENGTH CF ARSOPPTON TREAKH (LF.) | PROPOSED LENGTH OF ABSORPTION TRENCH | SEWAGE DESPOSAL SYSTEM LESIGN | SEPTIC TANK SEE (GATLONG) |
|---------------|--|---------------------|--------------------|------------------------------|---|--------------------------------------|----------------------------------|------------------------------|
| ī | 9500 | £10. | 4 | 440 | r.s | GE | 3 ROWS # 44 | ,2 5 0 |
| 2 | 8/6 | EUR | 5 | 550 | 550 | 890 | 4 BOWS 6 48 LF. | Ļ5 0 0 |
| 3 | 22:77 | A.Y. | à | ga() | 367 | 385 | T ROWS & 55 GF. | (850 |

* A.T. + ABSORPTION TRENCH SYSTEM ELD. 1 "EUJEN" IN-DRAIN ABSORPTION TRENCH SYSTEM. AND ETWO-FAMILY DIVELONG OR LOT C CONTAINS A THISTE (3) STOROOM UNIT AND A TWO (2) BEORGOM UNIT

| | WELL OR | STREAM, LAKE, OR | } | PROPERTY | DRAINAGE |
|------------------------------------|--------------|-------------------|----------|----------|--------------|
| FEATURES | SUCTION LINE | IYYATERCOURSE (D) | DWELLING | LOVE | OTTOH (8) (6 |
| HOUSE SEWER (WATERTIGHT 30XN75) | 50° (F1 | \$25' | 3 | O. | 10. |
| SEPTIC TANK | 50 | 507 | Ю | 107 | (C) |
| EFFLUENT LINE, TO DISTRIBUTION BOX | | 507 | 0 | ю | 100 |
| DISTRIBUTION BOX | KKY . | ЮО | 207 | 10' | 50" |
| ABSORPHON INTO | (X) (A) | 100 | 307 | Ŋ | 50' |
| SEEPAGE PIT | J50" (A) | 100 | 30. | ю | 507 |
| DRY WALL (ROOF É FOOTING) | 507 | 2.5 | 207 | b i | 50 |
| RAISED OR MOUND SYSTEM (C) | (00/ (A) | 100 | 20° | 10 | SO |

(A) WHEN SEWAGE TREATMENT SYSTEMS ARE LOCATED IN COARSE BRAVEL OR UPGRADE AND IN THE GENERAL PATH OF DRAINAGE, TO A WELL, THE CLOSEST PART OF THE TREATMENT SYSTEM SHALL BE AT LEAST ZOO AWAY FROM THE WELL (B) MEAN MON WATER MARK.

(C) FOR ALL SYSTEMS ENVOLVED THE PLACEMENT OF FILL MATERIAL, SEPARATION DISTANCES ARE MEASURED FROM THE TOE OF THE

(D) PECOMMENDED SEPARATION DISTANCES. (E) UNLESS CAST IRON OF FVC WITH O-PING JONTS IS UTFIZED, THEN 25

Minimum Separation Distances From Existing Or Proposed Features FOR GRANGE COUNTY - AS PER NEW YORK STATE DEPARTMENT OF INVIRONMENTAL CONSERVATION.

"RESIDENTIAL ONSUE WASTEWATER TREATMENT SYSTEMS DESIGN MANDEOOK", ZOR EDITION :

IN PIRE JOINTS TO BE GEALED WITH ASPHALING MATERIAL OR FOLIVALENT.

SPRING, RESERVOIR, BEOOK, MARSH OR ANY OTHER BODY OF WATER.

GASSES TO DISCHARGE THROUGH THE STACK VENT.

General Notes:

2) ALL OUTLET PIPES (SOUD WALL) LEAVE DISTRIBUTION BOX AT SAME ELEVATION ON A MINIMUM SLOPE OF 1/8" PER FOOT -UP TO A DISTRIBUTOR LATERAL

3) SEWAGE DISPOSAL SYSTEMS LOCATED OF NECESSITY UPGRADE IN THE GENERAL PATH OF DRAINAGE TO A WELL MUST BE SPACED FOOT OF MORE AWAY.

4) NO DPIVEWAY, ROADWAY, PARKING AREA OR ABOVE GROUND SWIMMING POOL IS TO BE CONSTRUCTED OVER ANY PORTION OF THE SEVER SYSTEM. HEAVY EQUIPMENT SHALL BE NORT OUT OF THE ABSORPTION FIELD AREA.

STALL TREES, STUMPS, BRUSH, WELDS, ETC. SHALL BE CUT AT GRADE AND REMOVED. ALL LEAVES, LIMBS, STONEWALLS. AND SOLIDERS ABOVE GRADE SHALL BE CAREFULLY REMOVED WITHOUT DISTURBING THE EXISTING TOPSOIL.

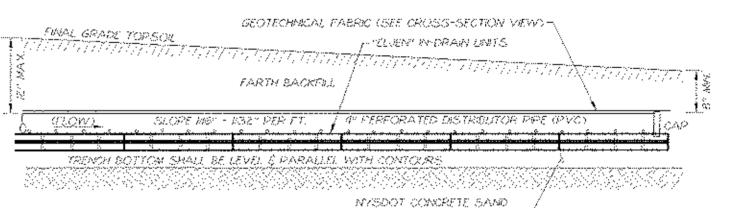
- 60 PERCOLATION RATE OF LADISTUPBED VIRGIN SOIL SHALL BL BETWEEN I ~ 60 MINUTES PER INCH IN A JET DELP TEST HOLE. TO MAXIMUM SLOPE OF EXISTING GROUND IN RAISED SYSTEM AREA SHALL BE ISW OR LESS. SITE SOILS SHALL BE LEFT. UNDISYURBED PRIOR YO PLACEMENT OF FILL

- 6) NO BASEMENT FIXTURES ARE PERMITTED WITHOUT A SPECIAL DESIGN FOR SEWAGE DISPOSAL. - 9) NO COMPONENT PART OF ANY SEWAGE DISPOSAL SYSTEM SHALL BE LOCATED OR MAINTAINED WITHIN 100' OF ANY

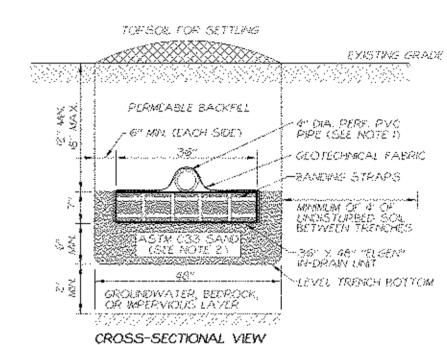
-10) NO ROOF, CELLAR, OR FOOTING DRAINS ARE TO BE DISCHARGED IN THE SEWACE DISPOSAL SYSTEM. ON SLOPE BETIMEEN SEPTIC TANK AND THE BINLDING SHALL BE POSITIVE AND UNINTERRUPTED, AS TO ALLOW SEPTIC.

IZ) A DIVERSION SWALE SHALL BE CONSTRUCTED ON THE LIPHICE SIDE OF THE SEWAGE DISPOSAL SYSTEM UPHILE FROM THE POINT WHERE THE FILL MEETS THE EXISTING GRADE TO PREVENT SURFACE RUNOFF FROM ENTERING THE FILL AREA. THE TOPSON, SURFACE OF THE FILL SHALL BE GRADED TO ENHANCE RUMOFF OF PRECIPITATION.

AST SO AS TO AVOID ANY UNDUE COMPACTION, NEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE TILE FIELD. EXCEPT FOR THE ACTUAL CONSTRUCTION OF THE PELO, THERE SHALL BE NO UNIVECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE AREA OF THE PROPOSED FIELD, BEFORE, DURING AND AFTER CONSTRUCTION. EXTREME CARE MUST BE TAKEN DURING ACTUAL CONSTRUCTION SO AS TO AVOID AND LINDUE COMPACTION THAT COULD RESULT IN A CHANGE OF THE ASSORPTION CAPACITY OF THE SOL, ON WHICH THE DESIGN WAS BASED.



- (SEE CROSS-SECTION VIEW) / TRENCH PROFILE



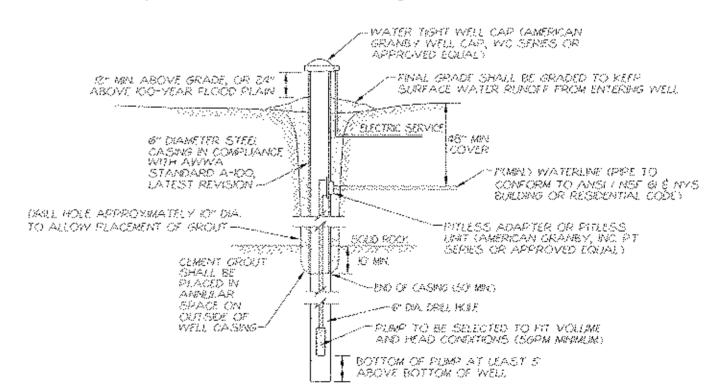
O DISTRIBUTION PIPE SHALL BE INSTALLED WITH PIPE PERFORATIONS LACING DOWN 2) YELDENY SAND SHALL MEET ALL THE SPECIFICATIONS FOR ASTMICAS SAND AS

| ., | | SOING BY WEIGHT |
|-------------|-------------|-----------------|
| SEVE SIZE | \$ MINIMENT |) MAXWLM |
| 3/8" | 100 | |
| MO.4 | 98 | 100 |
| MO.6 | (80° | B 60] |
| NO.45 | 30 | 35 |
| NO.30 | 2.5 | 1 60 |
| NO.50 | 5 | 30 7 |
| NOXOO | 0 | 1 10 |
| NO.ZOO(WET) | 1 0 | 5 5 |

3) DO NOT WISTALL TRENDIES IN WIT SOL. TRENDS SIDES AND BOYTOKS SHALL BE RAKED PRIOR TO INSTALLATION OF SANGE

"Eljen" In-Drain Absorption Trench Detail

IN THE END OF EACH CATERAL SHALL BE CAPPED.



NOUSS). 10 WELL SHALL BE CONSTRUCTED IN ACCORDANCE WITH TABLE IS OF THE N.Y.S. -DEPARTMENT OF HEALTH APPENDIX 5-8 "STANDARDS FOR WATER WELLS." 2.) THE WELL CAP MUST BE A MINROW OF Z FEET ABOVE THE KIO YEAR FLOOD ELEVATION.

Well Detail

RECORD OWNER: MARGUERITE DEPALMA (AKA MARGUERITE DICIARO), 2039 ROUTE 300 - APT Z,

TAX MAP REFERENCE: SECTION 3, BLOCK I, LOT 35 ZZ Situate in the Town of Newburgh Orange County, New York State April 2014

PROJECT: 3770 | SHEET 3 OF