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Principal Emeritus: RICHARD D. McGOEY, P.E.

WILLIAM J. HAUSER, P.E. (NY, NJ &

#### TOWN OF NEWBURGH PLANNING BOARD TECHNICAL REVIEW COMMENTS

PROJECT NAME: **IRONWORKERS LOCAL 417 AMENDED SITE PLAN** 

PROJECT NO.: 15-02

PROJECT LOCATION: **SECTION 4, BLOCK 3, LOT 5.2** 

REVIEW DATE: 14 AUGUST 2015 **MEETING DATE:** 20 AUGUST 2015

REPRESENTATIVE: MASER CONSULTING

- 1. Subsurface Sanitary Sewer Disposal System has been redesigned to replace existing system with new system utilizing H 20 loading infiltrators.
- 2. While project does not exceed thresholds requiring storm water attenuation it appears that a large portion of the new roof and parking areas will be directed in a westerly direction towards adjoining property. The Applicant's Representative is requested to evaluate if engineering controls can be incorporated into the design in order to provide for attenuation of any increased peak flows from roof leaders and the expanded parking area in a westerly direction.
- 3. The Planning Board may wish to discuss whether a Landscape Bond for the project is required.

Respectfully submitted,

McGoey, Hauser & Edsall Consulting Engineers, D.P.C.

Patrick J. Hines







Engineers
Planners
Surveyors
Landscape Architects
Environmental Scientists

1607 Route 300, Suite 101 Newburgh, NY 12550 T: 845.564.4495 F: 845.564.0278 www.maserconsulting.com

August 10, 2015

#### **VIA HAND DELIVERY**

Mr. John E. Ewasutyn, Planning Board Chairman Town of Newburgh 308 Gardnertown Road Newburgh, New York 12786

Re:

Iron Workers Local 417 Section 4, Block 3, Lot 5.2

Town of Newburgh, Orange County, New York

MC Project No. 14000837A

#### Dear Chairman Ewasutyn:

Below please find our responses to comments from comment letters received from McGoey, Hauser & Edsall Consulting Engineers D.P.C., dated January 20, 2015 and David Church, Orange County Department of Planning dated March 11, 2015. The comments have been repeated here for clarity.

#### McGoey, Hauser and Edsall

Comment 1:

Project is located in the RR Reservoir Residence District. The existing use on the site is a pre-existing, non-conforming use which has received variances in the past. The proposed 6,500 square foot addition with parking lot modifications will require a use variance for the expansion. In addition, the project is located in a critical environmental area, the Chadwick Lake critical environment. Based on Section 185-22, lot coverage is limited to 20% for any use in the zone. Increased lot coverage is identified from 33.4% to 41.5%(+/-). Variance from this requirement must also be received.

Response 1:

As discussed at the prior Planning Board meeting the Use Variance previously received from the Zoning Board of Appeals (ZBA) remains valid. Therefore, further action by the ZBA is not required.

Comment 2:

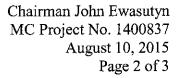
The additional storm water management requirements in Section 185-22 will apply to the project.

Response 2:

Per Section 185-22 of the Code, plans and details to manage Soil Erosion and Sediment Control have been included in the design plans.

Comment 3:

Finished floor elevations should be added to future plan sheets as it appears relocated subsurface sanitary sewer disposal system may be located in a higher Customer Loyalty through Client Satisfaction





location and require a pump station. Information regarding existing utilities must be provided.

Response 3: The attached set of design plans includes a Grading & Drainage Plan and Subsurface Sewage Disposal Plan and details for the proposed septic system. The proposed location for the septic has been revised since the initial site plan. It has been moved closer to the building.

Comment 4: It is noted the building is served by a well. Fire protection sprinkler system is required by the ordinance unless a waiver is received.

Response 4: A prior waiver was received for project from the Code Compliance office (see attached) for a larger building. An updated waiver letter will be sought from the Code Compliance office.

Comment 5: Existing shed to be relocated must be depicted on the plans.

Response 5: The proposed location for the shed has been called-out on Sheet #2.

Comment 6: Because project is located in critical environmental area, a long form EAF is required as coordinated review with NYSDEC, NYSDOT and County Planning will be required. All actions within the critical environmental area are considered Type 1 Actions for SEQRA review.

Response 6: A completed long form EAF was submitted to Mr. Hines and circulated by his office. Correspondence from County Planning and NYSDOT have been received (see attached letters) and responded to as needed in this letter.

Comment 7: Additional review will be undertaken upon receipt of detailed plan sheets.

Response 7: The attached set of Preliminary Site Plans details out the proposed project improvements.

#### OC Department of Planning:

The Department has received the above referenced site plan and bas found no evidence that significant inter-municipal or countywide impacts would result from its approval. We would like to offer the following advisory comments:

Comment 8: Forest Management: The applicant proposes to remove several mature trees and other vegetation in order to construct this addition. We advise the Town that mature trees, particularly in clusters such as those existing in the vicinity of the project site, are excellent cooling agents and prevent soil erosion, among other benefits. We therefore advise the Town to require the planting of additional trees elsewhere on the project site; these trees could be placed at the south end of the parking lot next to the building addition or north of the existing building.



Chairman John Ewasutyn MC Project No. 1400837 August 10, 2015 Page 3 of 3

Response 8:

A Landscape Plan has been prepared and included in the Preliminary Site Plans. It includes the installation of shade trees, evergreen trees and various shrub plantings.

Comment 9:

<u>Parking Lot Design</u>: The proposed site plan shows three handicapped-accessible spaces, but does not show a safe route between those spaces and the building entrance, either existing or proposed. We advise the Town to require more detailed drawings prior to the final project approval, and to determine whether the proposed parking lot and sidewalk designs allow for safe access by all users.

Response 9:

The attached set of Preliminary Site Plans details out the proposed project improvements associated with the Accessible parking areas. Both these areas are located directly adjacent to the main building entrances (existing & proposed) and provided safe access into the facilities.

County Recommendation: Local Determination

Very truly yours,

MASER CONSULTING P.A.

Justin E. Dates, RLA.

Associate

JED/jm

\\NBCAD\Projects\2014\14000837A-Ironworkers\Correspondence\OUT\150810JED\_Comment+Response.docx



ANDREW M. CUOMO Governor MATTHEW J. DRISCOLL Commissioner WILLIAM J. GORTON, P.E. Regional Director

August 05, 2015

Mr. John P. Ewasutyn, Chairman Town of Newburgh Planning Board 308 Gardnertown Road Newburgh, New York 12550

RE: NYSDOT SEQRA# 15-070

Ironworkers Local 417

Town of Newburgh, Orange County

Dear Mr. Ewasutyn:

We have received Short Environmental Assessment Form along with Site Plan dated March 09, 2015 and received on March 16, 2015 from the Town of Newburgh Planning Board for our review and comments.

We apologies for our late response and at the same time would like to inform you that the proposed addition to the existing site may not have significant impact on the existing highway system. We have no additional comments to offer at this time.

Thank you for your interest in highway safety.

Very truly yours,

Akhter A. Shareef

Senior Transportation Analyst

cc: Michael Sassi, Regional Traffic Engineering and Safety Group, R-8 Siby Zachariah, Permit Field Engineer, Residency 8-4

REGEIVED

AUG 0 : 2015

MASER CONSULTING P.A.

#### TOWN OF NEWBURGH

\_Crossroads of the Northeast \_

OLD TOWN HALL 308 GARDNERTOWN ROAD NEWBURGH, NEW YORK 12550

CODE COMPLIANCE DEPT. TELEPHONE 845-564-7801 FAX LINE 845-564-7802

10/02/02

Ironworkers Local 417 Training and Education 583 Route 32 Wallkill NY 12589

Re: Decision and Resolution Sprinkler Variance 09/25/02

#### Gentlemen,

This note is to inform you that following your presentation and deliberation by the Town of Newburgh Fire Prevention Bureau relative to your variance request from the Town of Newburgh Sprinkler Ordinance a vote was taken of the Town Fire Chief's present at the meeting.

The vote was in favor of granting the variance with the following stipulations:

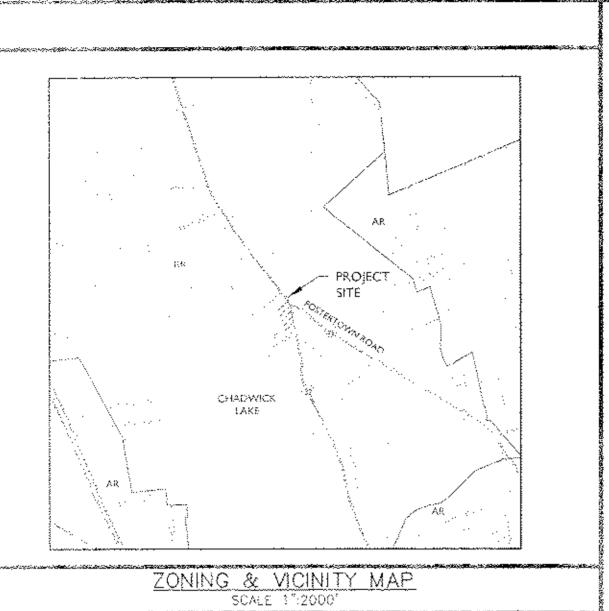
- 1. The new building must have a central station monitored fire alarm system. The system must identify the new building as a separate location with an illuminated strobe on the outside of each building visible from Rte. 32, activated when the fire alarm activates.
- 2. An NFPA compliant fire lane is to be placed on the south and rear side of the building.
- 3. Knox Box accessibility is to be proved for both buildings.
- 4. There is to be no combustible storage in the building.

All the above items must be complied with prior to the issuance of a Certificate of Occupancy for the building. If at any time the above items are eliminated or altered the Certificate of Occupancy for the building will be revoked with court action to be initiated.

Any questions regarding this variance please notify this office.

Respectfully

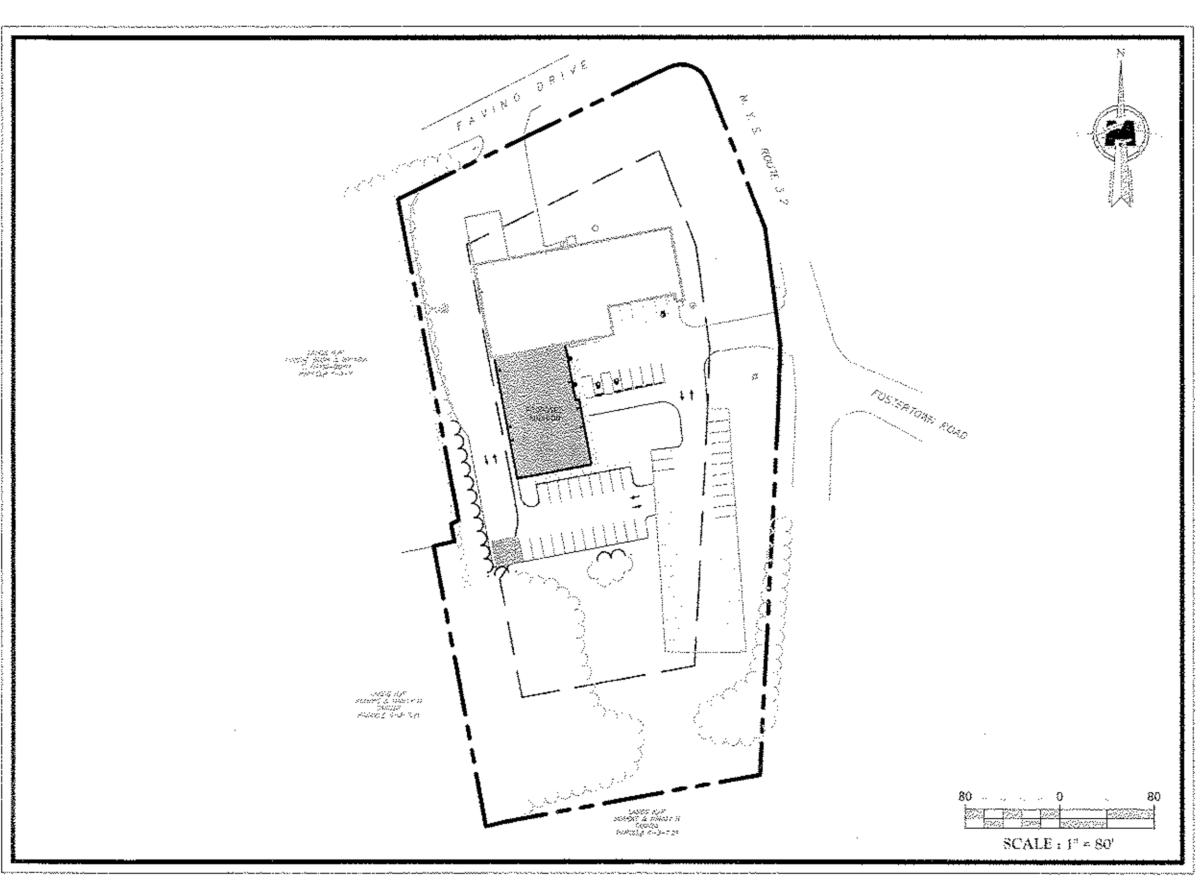
Thomas Dubetsky Asst. Fire Inspector



# PRELIMINARY SITE PLANS FOR

# **IRON WORKERS LOCAL 417** SECTION 4, BLOCK 3, LOT 5.2

TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK



**KEY MAP** 

#### **GENERAL INFORMATION**

- 1 THE BOUNDARY, TOPOGRAPHIC AND PLANMETRIC INFORMATION SHOWN HEREOM IS TAKEN FROM A SURVEY CANTLED, "BOUNCARY AND TOPOGRAPHIC SURVEY FOR IRON WORKERS." ROCAL 417" PREPARED BY MASER CONSULTING PLAL CATED OCTOBER 30, 2014
- 2. NO 100 YEAR FLOOD PLAINS ARE KNOWN TO EXIST ON THE SITE FER THE FLOOD INSURABLE RATE MAP, COMMUNITY-PANEL NO. 36071C0129E, EFFECTIVE GATE: AUGUST 3. 2009: PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY
- 5. MATERIALS, WORKMANSKIP, AND CONSTRUCTION FOR THE SUFFINITION CHIENTS SHOWN HEREOM SHALL BE IN ACCOMDANCE WITH
- A MEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", MAY 1, 2008; AS SUPPLEMENTED.

B. CURRENT PREVAILING MUMBOIPAL, COUNTY, AND/OR STATE AGENCY SEECIFICANOMS,

- STANDARDS, CONDITIONS, AND REQUIREMENTS. C. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS.
- AND REQUIREMENTS D. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- 4. WATER SERVICE FOR THE ADDITION SHALL SE PROVIDED FROM THE EXISTING WATER WELL LOCATED ON THE NORTHERN SIDE OF THE SITE ADJACENT TO THE EXISTING
- 5 SANITARY SEWER SERVICE SHALL BE PROVIDED BY A PROPOSED ON SITE SUBSURFACE SEWAGE DISPOSAL SYSTEM LOCATED SAST OF THE PROPOSED ADDITION, SYSTEM COMPONENTS TO BE IN ACCORDANCE WITH THE FINAL APPROVED DESIGN FLANS.
- 5. GAS, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS. IF REQUIRED, SHALL BE PREPARED BY THE PESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTAULED PER ORDINANCE, REDUIREMENTS
- ? TELEPHONE, ELECTRIC, AND GAS LINES WILL BE MISTALLED UNDERGROUND CROSSINGS OF PROPUBED PAYEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAMEMENT BASE COURSE.
- 8. UDLITY RELOCATIONS SHOWN MERSON, IF ANY, ARC FOR DEOPMACONAL PURPOSES. ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL RECURED UTILITY PELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES 9. REFUSE AND RECYCLASTES SHALL BE STORES WITHIN THE EXISTING OUTSIDE TRASH-
- 10. TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNITORM
- TRAFFIC CONTROL DEVICES 11 THIS IS A SITE DEVOLOPMENT ALAH AND UNLESS SPECIFICALLY NOTED BUSSWHERE
- 12. SURDING FOOTPRINT DIMEUSIONS SHOWN HERON ARE APPROXIMATE FINAL BURDING FOOTPRINT CHENSIONS FOR THE BUILDING SHALL SE FURNISHED ON THE ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT, ALC STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS.
- 13 DO NOT SCALE DRAWNOS AS THEY PORTAIN TO ADJACENT AND SCREENINGING PHYSICAL CONDITIONS, SIMDINGS, STRUCTURES, ETC. THEY ARE SCHEMATED ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN PHERETO.
- 14 YHR SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY POVIEW AND APPROVAL. THE SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIPED HAVE BEEN OBTANED, ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS HAVE BEEN STAMPED "ISSUED FOR CONSTRUCTION" THIS SHALL INCLUDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWNGS AND/OR DESIGN CARCHIATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPALITY.
- 15. FX/SING UPLITY INFORMATION SHOWN HERSON HAS BEEN COLLECTED FROM VARIOUS SCHROES AND IS NOT GUARANTEED AS TO ACCUPACY OR COMPLETENESS THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION WHERE EXISTING UTILITIES ARE TO BE CHOSSED BY PROPOSED. CONSTRUCTIONS, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES TEST PIT BRORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE COMPACTOR SHALL NOTIFY BY KINDER SIGNED PROFESSIONAL IMMEDIATELY IF ANY FELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HERCON, SUCH COMOTIONS COULD PENDER THE DESIGNS HEREON MAPPROPRIATE OR MEFFECTIVE, DIG SAFECY, CONTACT 1-500-962-7962 PRIOR TO EXCAVATION FOR UNDERGROUND UTILITY INFORMATION
- 18 THIS SET OF PLANS DOES NOT DEPICT ENVARONMENTAL CONDITIONS OF A CERTIFICATION/WARRANTY REGARDING THE FRESENCE OF ARSENCE OF FINARONMENTÁLLY IMPACTED SAE CONDITIONS. MASER CONSULTAG HAS PERFORMED MO EXPLORATORY OR ICSTANA SERVICES, INTERPRETATIONS. CONCLUSIONS OR OTHER CONCUSARADARESTAT REPORTED DO A DO TRATOS TODARIA TIGAS ON TRATOS DO SENTA DE CHEMICAL, TONIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECHING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NOT OLAUFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
- 17 THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, MICLURING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- 18. THESE GENERAL MOTES SHALL APPLY TO ALL SHEETS IN THIS SET.



Engineers # Planners #Surveyors

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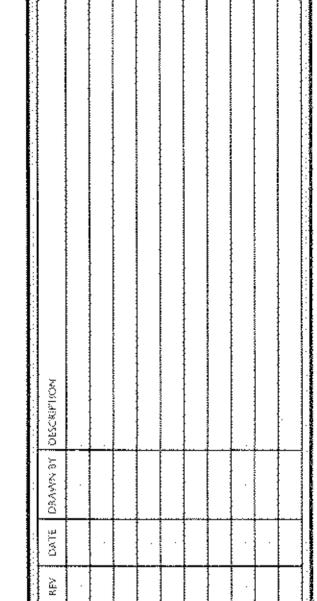
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andrew b. fetherston NEW YORK LICENSED PROFESSIONAL ENGINEER - LICENSE NUMBER: 73555-7

PRELIMINARY SITE PLAN

FOR IRON WORKERS LOCAL 417

> SECTION 4 BLOCK 3 LOT 5.2

TOWN OF NEWBURGH ORANGE COUNTY NEW YORK



Newburgh, NY 32550 Phone 845 864 4499 Fax: 845 564 0278

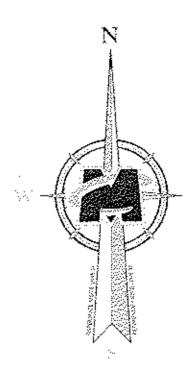
COVER SHEET

01 of 09

## INDEX OF SHEETS

SHT. No	DESCRIPTION	LATEST REVISION
	COVER SHEET	:
	LAYOUT MAN	;
3	GRADPIG & DRAINAGE PLANS	
	SUBSURFACE SEWAGE SYSTEM PLAN	: ··· · · · · · · · · · · · · · · · · ·
s s	SOIL BROSION & SEDIMENT CONTROL PLAN	
	SOIL FROSION & SEDIMEN? CONTROL DETAILS	:
7	LANDSCAFE & UGHTING PLAN	; ····································
8-9	CONSTRUCTION DETAILS	·





#### SITE CONDITIONS

#### (PRE-EXISTING, NON-CONFORMING USE)

	EXISTING	, PROPOSED
LOT AREA	3.66 ACRES	3.66 ACRES
FRONT YARD SETBACK (N.Y.S. ROUTÉ 32)	76.37'	76.37
REAR YARD SETBACK	386.91	783.30
SIDE YARD SETBACK		
ONE	52.83'	52.83′
80TH	N/A	N/A
LOT WIDTH	±293′	±293'
LOT DEPTH	3.567	±567*
BUILDING COVERAGE	7.6%	11.6%
BUILDING HEIGHT	24'	35'
LOT SURFACE COVERAGE	33.4%	43.1%
PARKING SPACES	64	67
	PERMITTED	PROPOSED
SITE DISTURBANCE AREA	20% OF GROSS SITE AREA (31.924 S.F.)	31,350 S.F.

## ZONING:

RR-RESERVOIR RESIDENCE DISTRICT

#### NOTES:

FIRE DISTRICT: CRONOMER VALLEY

- 2. SCHOOL DISTRICT: WALLKILL
- THE PROPERTY IS NOT WITHIN ANY ONE-HUNDRED-YEAR PLOOD PLAIN AS PER FLOOD INSURANCE RATE MAP, NO. 36071 C0129E.

#### OWNER/APPLICANT:

IRON WORKERS LOCAL 417 583 ROUTE 32 WALLKILL NY 12589

#### TAX LOT: 4-3-5.2

A1-----

### SITE AREA:

£159,617 SQ.FT. £3.66 ACRES

	LEGEND		
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	PROPERTY LINE		
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Landscape Architects #Environmental Scientists

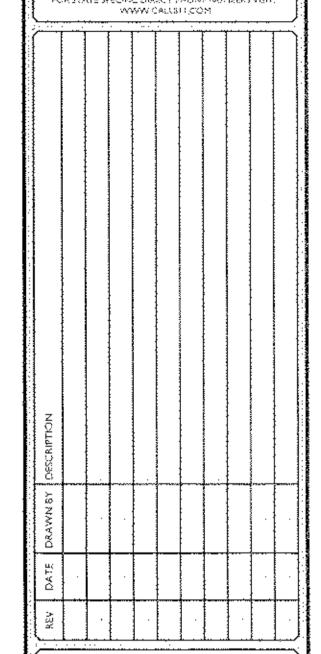
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ANDREW B. FETHERSTON NEW YORK LICENSED PROFESSIONAL ENGINEER - LICENSE NUMBER: 73555-1

PRELIMINARY SITE PLAN

FOR
IRON WORKERS
LOCAL 417

SECTION 4 BLOCK 3 LOT 5.2

TOWN OF NEWBURGH ORANGE COUNTY NEW YORK



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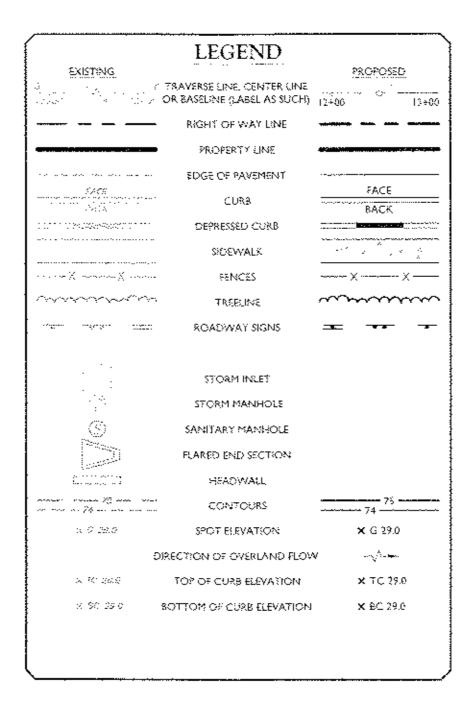
NEWBURGH OFFICE F607 Route 300 Suite 101 Mewburgh, NY 12550 Phone: 845 564,4495 Fax: 845,564,0278

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LAYOUT PLAN

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	TC 509.8 BC 509.3 TC 510.7 BC 510.2 G 509.25 G 509.25 G 509.3	Sing C 510.6 Sing Sing Sing Sing Sing Sing Sing Sing	G 510.9 BC 510.2 G 508.5		PROPOSED LIMIT OF NEW
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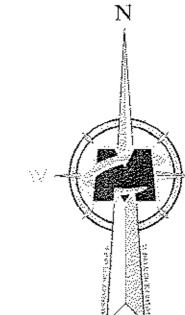
- PROPOSED GRADE ELEVATIONS SHOWN AT BUILDING LINE ARE GROUND ELEVATIONS.
- 2. PROPOSED SPOT ELEVATIONS IN PAVEMENT AREAS ARE TOP OF FINISHED PAVEMENT.
- 3. ALL ROOF LEADERS SHALL DISCHARGE TO GRADE, FINAL ROOF LEADER LOCATION TO BE REFERENCED FROM THE ARCHITECTURAL DESIGN PLANS.
- 4. ALL PROPOSED CURBING IS TO BE CONCRETE CURB WITH A 6" REVEAL AS PER DETAIL. UNLESS SHOWN OTHERWISE ON THIS GRADING PLAN.

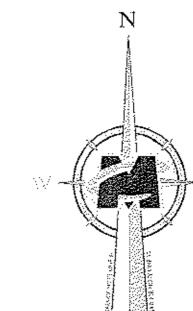
#### ADA INSTRUCTIONS TO CONTRACTOR

CONTRACTORS SHALL EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (HANDICAPPED) ACCESSIBLE COMPONENTS FOR THE SITE, THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE LATEST ADA STANDARDS FOR ACCESSIBLE DESIGN. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EGRESS, SHALL COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDED, BUT ARE NOT LIMITED TO THE FOLLOWING:

- PARKING SPACES AND PARKING AISLES SLOPE SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NORMALLY 2,0%) IN ANY DIRECTION
- CURB RAMPS SLOPES SHALL NOT EXCEED 1:12 (8.3%).
- LANDINGS SHALL BE PROVIDED AT EACH END OF RAMPS, SHALL PROVIDE POSITIVE DRAINAGE, AND SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) CROSS
- PATH OF TRAVEL ALONG ACCESSIBLE ROUTE SHALL PROVIDE A 36 INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL, (CAR OVERHANGS CANNOT REDUCE THIS MINIMUM WIDTH), THE SLOPE SHALL BEING GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL, AND SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), AN ADA RAMP WITH A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM DISTANCE OF 30 FEET, SHALL BE PROVIDED. THE RAMP SHALL MAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE CROSS SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) FOR POSITIVE DRAINAGE,
- DOORWAYS SHALL HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE UP THE DOOR THAT IS SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NORMALLY 2.9%) FOR POSITIVE DRAINAGE. THIS LANDING AREA SHALL BE NO LESS THAN 60 INCHES (\$ FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS (SEE APPLICABLE CODE SECTIONS).

IT IS RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL PRIOR TO COMMENCING WORK.





Engineers ■ Planners ■ Surveyors Landscape Architects: #Environmental Scientists

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andrew B. Fetherston NEW YORK LICENSED PROFESSIONAL ENGINEER - DOENSE NUMBER: 73555-)

PRELIMINARY SITE PLAN

FOR

IRON WORKERS LOCAL 417

> SECTION 4 BLOCK 3 LOT 5.2

TOWN OF NEWBURGH ORANGE COUNTY NEW YORK



NEWBURGH OFFICE 1607 Route 300 Sorte 303 Newbergh, NY 12550 Phone: 845.564.4495 Fex: 845.564.0778

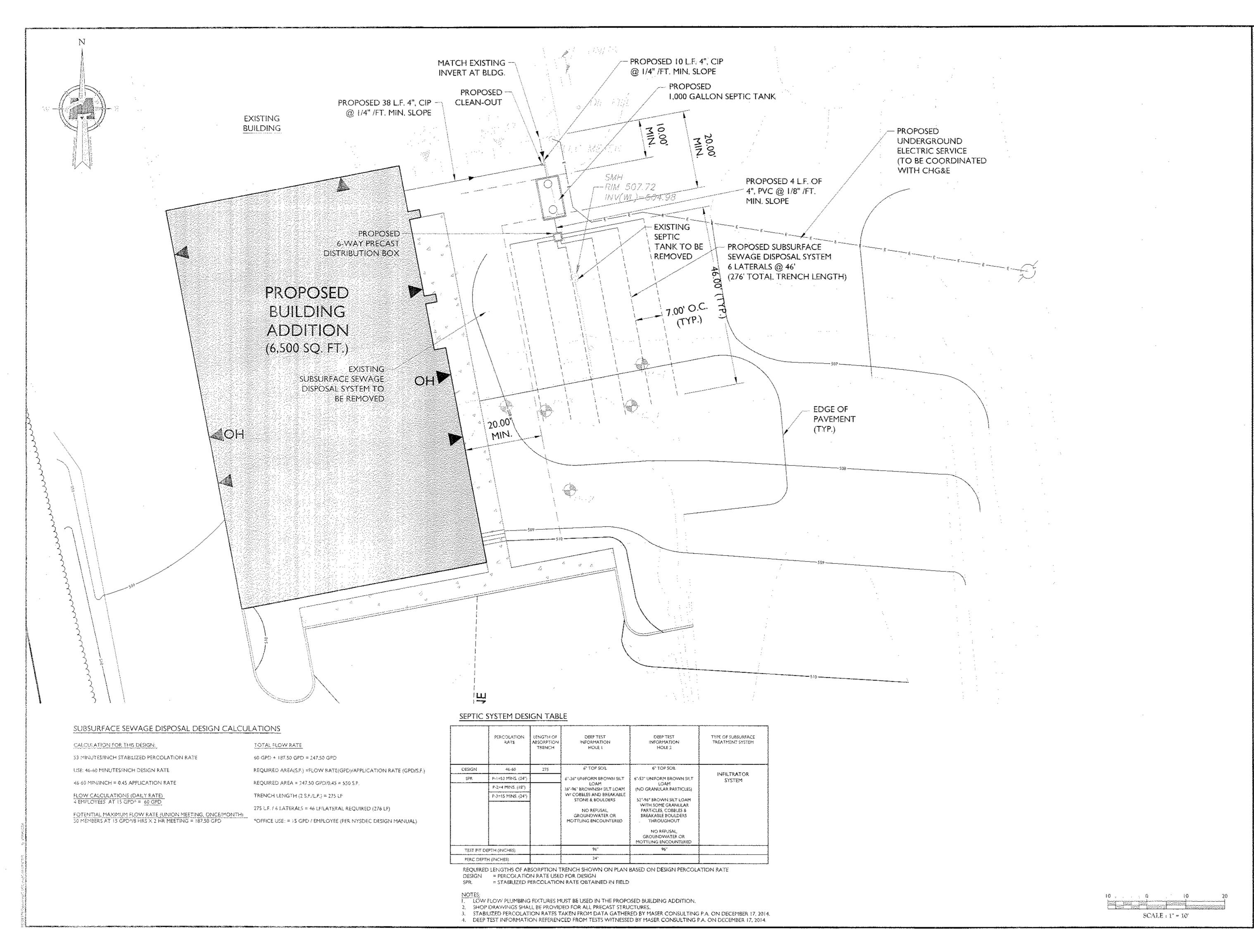
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jeo: 08/06/15 FROJECY NUMBER, DRAWONG NAME. 14000837A C-GRAD

GRADING & DRAINAGE PLAN

03 of 09

SCALE : 1" = 20"



Customer Loyalty Harough Chem Satisfaction

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ANDREW B. FETHERSTON

NEW YORK LICENSED PROFESSIONAL
ENGINEER - EIGENSE NUMBER: 72555-1

PRELIMINARY SITE PLAN

FOR

IRON WORKERS LOCAL 417

> SECTION 4 BLOCK 3 LOT 5.2

TOWN OF NEWBURGH ORANGE COUNTY NEW YORK



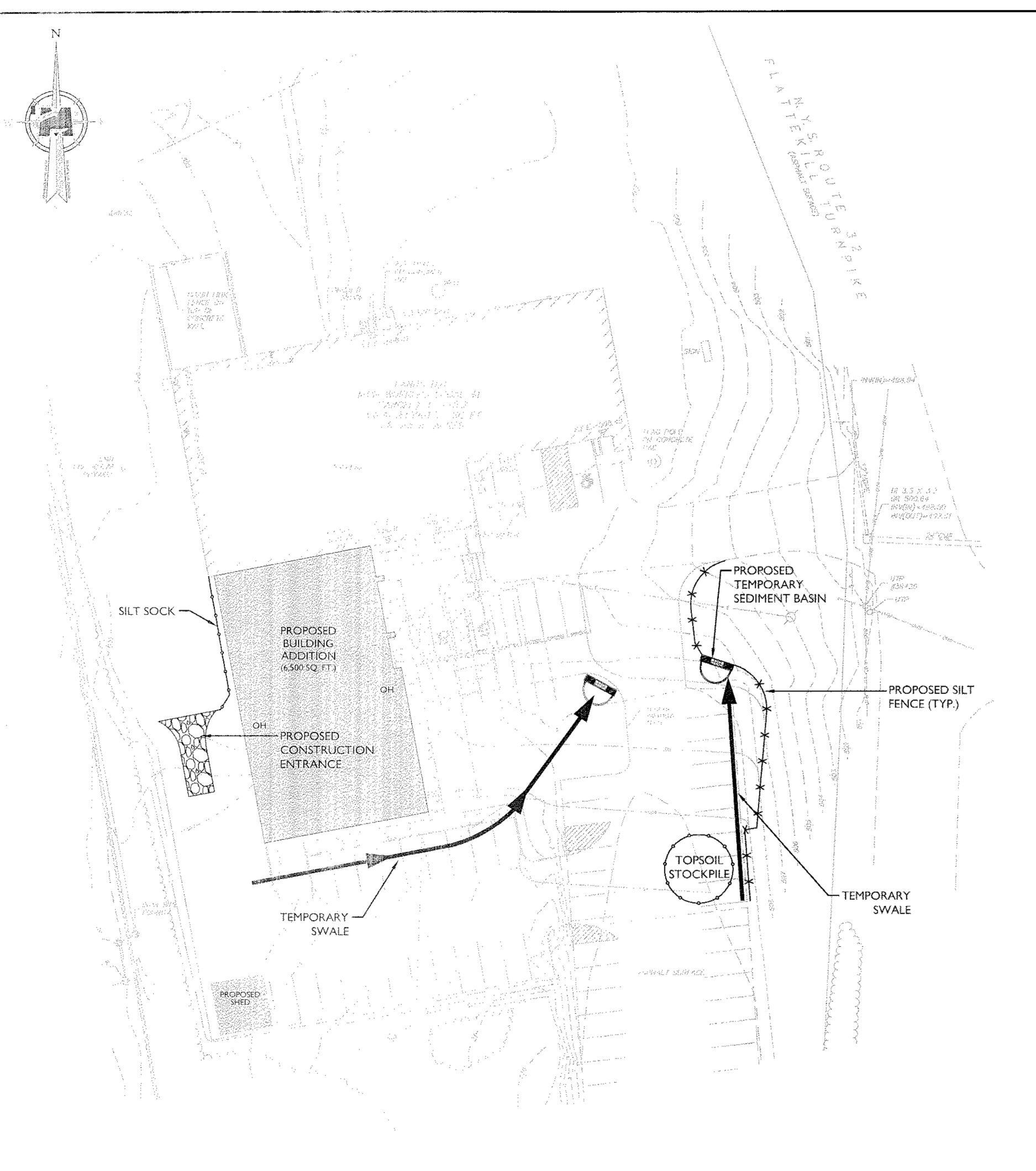
\*867 Route 300 Suite 101 Nawhurgh, NY 12550 Phone: 845.564.4495 Fax. 845.564.0278

email: solutions @maserconsults

OATE CRAWNER:

P 0896-05 190

SUBSURFACE SEWAGE
DISPOSAL SYSTEM PLAN



#### PHASE I CONSTRUCTION SEQUENCE

DISTURBANCE AREA = 0.72 ACRES TEMPORARY STORAGE REQUIRED = 3,600 CF PER ACRE DISTURBED = 2,595 CF TEMPORARY STORAGE PROVIDED = 2,600 CF

- THE APPLICANT AND THE APPLICANT'S CONTRACTOR ARE REQUIRED TO ATTEND A PRE-CONSTRUCTION MEETING WITH REPRESENTATIVES FROM THE TOWN BUILDING DEPARTMENT, ENGINEERS AND ANY OTHER PARTIES DEEMED. NECESSARY TO REVIEW ALL PROTOCOLS, BONDING REQUIREMENTS, AGREEMENTS AND THE SEQUENCE AND SCHEDULING OF THE WORK BEING UNDERTAKEN, AS APPLICABLE.
- CONSTRUCT AND MAINTAIN THE NORTHWESTERN CONSTRUCTION ENTRANCE AND STOCK PILE AREA LOCATED SOUTHEASTERN OF THE PROPOSED ADDITION PER THIS PLAN.
- EXISTING EASTERN PARKING AREA BEYOND THE PROPOSED SAW CUT LINE TO REMAIN AND ACCESS MAINTAINED DURING CONSTRUCTION,
- 4. CONTRACTOR SHALL INSTALL ONE (1) TEMPORARY SEDIMENT TRAP, TEMPORARY DIVERSION SWALE, AND SILT FENCE AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN, CONTRACTOR TO CONSTRUCT ADDITIONAL TEMPORARY DIVERSION SWALES AS NEEDED TO DIRECT RUNOFF TOWARD SEDIMENT TRAP.

DISCHARGE POINT THE CONTRACTOR SHALL DE-WATER THE TRAP USING ABOVE GROUND HOPE DIVERTING WATER TOWARD THE EAST SIDE OF THE SITE ONTO A STABILIZED SLOPE.

- EARTHWORK SHALL BE CONDUCTED PER THE APPROVED GRADING & DRAINAGE PLAN. EXCAVATED MATERIALS SHALL BE STORED IN STOCKPILES, CORDONED OFF WITH SILT FENCE PER THE APPROPRIATE SPECIFICATIONS AND DETAILS, AND REMOVED FROM THE PROJECT SITE AS IS PRACTICAL AND AS NEEDED. THE CONTRACTOR SHALL ROUGH GRADE AREA INCLUDING PROPOSED PARKING AREAS AND THE BUILDING FOOTPRINT.
- CONTRACTOR SHALL INSTALL PROPOSED SUBSURFACE SEWAGE DISPOSAL SYSTEM (I.E. SEPTIC TANK, DISTRIBUTION BOX, INFILTRATORS, ETC.).
- 7. CONTRACTOR SHALL INSTALL CONCRETE CURB AND PAVE BASE COURSE AS SOON AS PRACTICAL TO STABILIZE IMPERVIOUS AREAS.

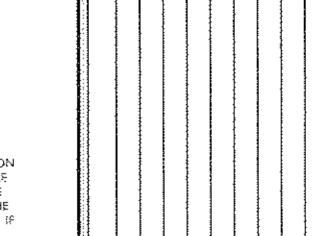
- 8. CONTRACTOR SHALL BEGIN CONSTRUCTION ON PROPOSED BUILDING. AFTER COMPLETION OF BUILDING EXTERIOR, GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED, INSTALL SIDEWALKS.
- MAINTAIN ALL SEEDED AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VÉGETATIVE COVER.
- 10. STABILIZATION\* THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
- \* STABILIZATION MEANS COVERING OR MAINTAINING A COVER OVER SOIL. COVER CAN BE VEGETATIVE (E.G. GRASS, SEED AND MULCH, SHRUBS, OR TURF) OR NON-VEGETATIVE (E.G. GEOTEXTILES, RIP-RAP, OR GABIONS).
- ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AS MAY BE NECESSARY, REQUIRED AND/OR REQUESTED BY AUTHORITIES, TO PREVENT THE INCIDENTAL DISCHARGE OF SILT LADEN RUNOFF FROM ENTERING A WATER COURSE OR A DRAINAGE SYSTEM.
- SHOULD ANY SLOPE EROSION OCCUR AT THE TEMPORARY SEDIMENT TRAP 12. THE GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES STATES THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS.
  - 13. THE PROJECT SITE MUST BE STABILIZED PRIOR TO REMOVING ALL EROSION AND SEDIMENT CONTROL DEVICES AND CLOSING OUT THE PROJECT. LITTER AND CONSTRUCTION DEBRIS SHALL BE REMOVED AS PRACTICAL THROUGHOUT THE LIFE OF THE PROJECT.

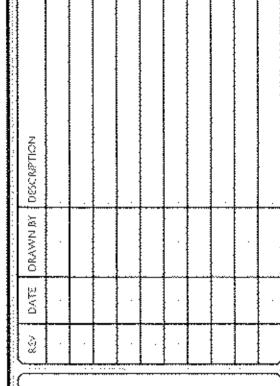
## GENERAL SOIL EROSION AND SEDIMENT CONTROL NOTES:

TOTAL SITE DISTURBANCE = 0.72 ACRES

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED. PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN FOURTEEN (14). DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WELL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
- 3. PERMANENT VEGETATION TO BE SEEDED ON ALL EXPOSED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADING. MULCHING IS REQUIRED ON ALL SEEDING, WHEN - I HYDROSEEDING, MULCH SHALL NOT BE INCLUDED IN THE TANK, WITH THE SEED.
- 4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NEW YORK STANDARDS. AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- 5. A SUBBASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUBBASE SHALL BE INSTALLED WITHIN FIVE (5) DAYS OF THE PRELIMINARY GRADING.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
- THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A STONE PAD, AT ALL CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE.
- 8. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID. PRODUCING SOILS, ANY SOIL HAVING A PHIOF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF TWELVE (12) INCHES OF SOIL. HAVING A PHIOF S OR MORE PRIOR TO SEEDBED PREPARATION, AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF TWENTY-FOUR (24) INCHES OF SOIL HAVING A PHIOP 5 OR MORE.

- 9. AT THE TIME THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE. CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
- 10. UNSILTERED DEWATERING IS NOT PERMITTED. TAKE AU, NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH STATE STANDARDS
- SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.
- 12. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE UMIT OF DISTURBANCE OR ONTO PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY.
- 13. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION AND SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
- 14. STOCKPILE AND STAGING LOCATIONS DETERMINED IN THE FIELD, SHALL BE PLACED WITHIN THE LIMITS OF DISTURBANCE ACCORDING TO THE CERTIFIED
- 15. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL PLAN.
- 16. ALL PERMANENT 50%, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED BY THE PROPERTY OWNER, AND SHALL BECOME THEIR RESPONS(BILITY.
- 17. PAVEMENT AREAS ARE TO BE KEPT CLEAN AT ALL TIMES.
- 18. DURING CONSTRUCTION, ANY ADDITIONAL CONTROL MEASURES AS DEEMED NECESSARY TO PREVENT EROSION OR CONTROL SEDIMENT BEYOND THOSE MEASURES SHOWN ON THE APPROVED PLAN SHALL BE INSTALLED OR EMPLOYED. AT THE DIRECTION OF THE MUNICIPAL ENGINEER.





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Landscape Architects: #Boreronmental Scientists

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FOR STATE SPECIFIC EXPECT PHONE NUMBERS VISIT:

WWW.CAUJSTECOM

💆 Albany, NY

🗷 Newburgh, NY

# Mawrhonns, NY

🛎 Bathlishens, PA

Philadelphia, PA

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👣 🔻 Taropo, St.

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■ Sterling, VA

■ Norfo%, VA

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Atbuquerque, NM

Call before you dig.



andrew B. Fetherston NEW YORK LICENSED PROFESSIONAL ENGINEER - LICENSE NUMBER: 73535-1

PRELIMINARY SITE PLAN

FOR **IRON WORKERS** LOCAL 417

> SECTION 4 BLOCK 3

> > LOT 5.2

TOWN OF NEWBURGH ORANGE COUNTY NEW YORK



NEWSURGH OFFICE 1607 Route 300 Susce 101 Newborgh, NY 12550 Phone: 845,564,4495 Fax: 845,564 0378

email: solutions comagendonsulting com

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SOIL EROSION & SEDIMENT CONTROL PLA

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LEGEND FOR EROSION CONTROL DURING CONSTRUCTION

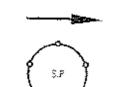
ENTRANCE

-X-X-SILT FENCE



STONE OUTLET SEDIMENT TRAP

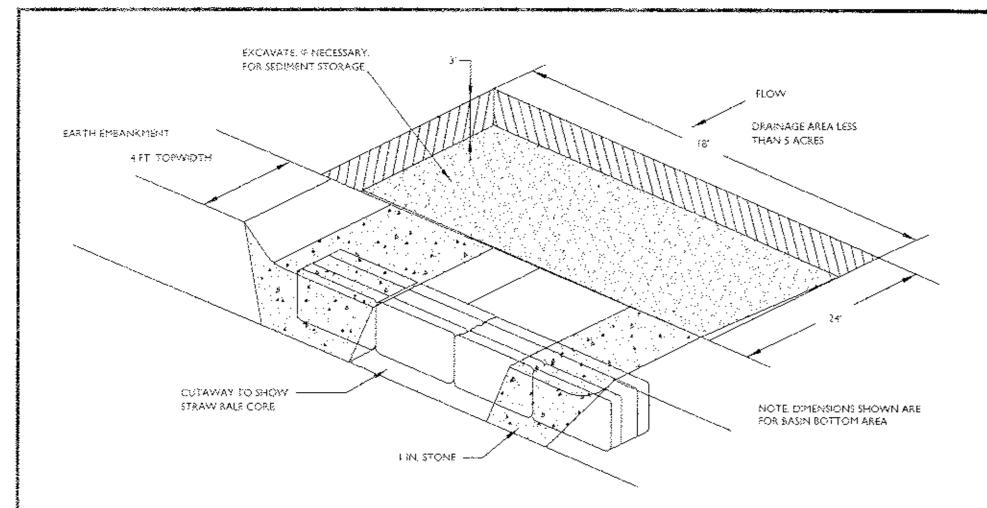
STABILIZED CONSTRUCTION

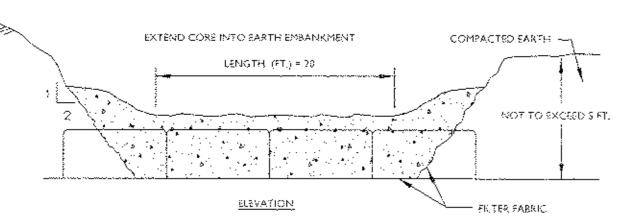


MATERIAL STOCKPILE

TEMPORARY SWALE

SCALE : 1" ≈ 20'





TO SETHISTALLED PRIOR TO GRADING OR FILLING IN THE DRAWAGE AREA THEY ARE TO PROTECT, TRAPS THAT ARE TO FUNCTION DURING BUILDING CONSTRUCTION MUST NOY BE LOCATED WITHIN 29 FEET OF A PROPOSED BUILDING FOUNDATION. WHILE TRAPS SHOULD BE SITED TO MAXIMIZE STORAGE BENEFIT, THEY SHOULD NOT BE LOCATED IN WETLANDS OR WETLAND SUFFER AREAS, OR IN EXISTING WATERCOURSES

(SEE EROSION AND SEDIMENT CONTROL PLAN FOR LOCATIONS.)

#### INSTALLATION NOTES

- III. AREA UNDER EMBANKMENT SHALL BEIGLEARED, GRUBBED, AND STREPPED OF ANY VEGSTATION AND ROOT MAT, THE POOL AREA SHALL BE CLEARED AS WELL.
- 7. THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS OR OTHER. WOODY VEGETATION AS WELL AS OVER SIZED STONES, ROCKS, ORGANIC MATERIAL AND OTHER QUESTIONABLE MATERIAL THE EMBANIKMENT SHALL BE COMPACTED BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
- 3. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMERSIONS. WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED BY A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT BRODE.
- 4. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE ASINESDED.
- 5. CONSTRUCTION OPERATIONS SHALL SE CARRIED OUT IN SUCH A MANAGE THAT EROSION AND WATER POLLUTION IS MINIMIZED.
- 6, THE STRUCTURE SHALL BE REMOVED AND THE AREA STABULZED WHEN THE DRAMAGE AREA HAS SEEN PROPERCY STABILIZED.
- 7. ALL OUT AND RELISLOPES SHARLING II: 2 OR REARTER.
- 8. THE STONE USED IN 1992 OUTLET SHALL BE SMALL SIPSAP 41-81 ALONG WITH A 11 THICKNESS OF 2" AGGREGATE PLACED ON THE UP GRADE SIDE ON THE SMALL RIPRAP. OR EMBEDDED FILTER CLOTH IN THE KIRKAR

#### SIZING CALCULATIONS

MOTE: 3,600 CUBIC FEET OF STORAGE REQUIRED PER ACRE OF DISTURBANCE.

1756S IS THE MINIMUM AMOUNT OF SEDMENT TRAPS, ADDITIONAL MAY BE REQUIRED. BASED UPON OTHER ON-SITE CONDITIONS AND CONTRACTOR SCHEDULE AND PHASING ACTIVITIES.

#### STONE OUTLET SEDIMENT TRAP

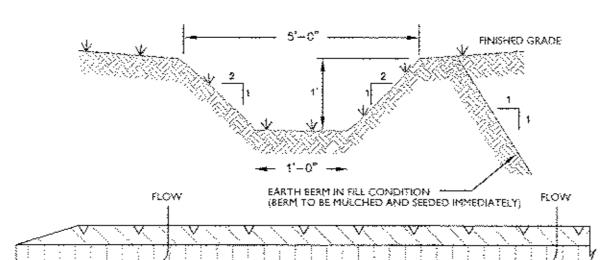
### GENERAL SEEDING NOTES

- I TEMPORARY SEEDING SHALL CONSIST OF PERENNIAL RYEGRASS APPLIED AT A RATE OF LOLES, PER 1000 SF OR SPRING GATS APPLIED AT A BATE OF 20 CBS, SER 1600 SF, TEMPORARY SEEDING SHALL BE MULCHED AND MAINTAINED UNTIL DISTURBED AREAS ARE RERMANIENTLY STABRIZED WITH
- 2 PERMANENT SEEDING SHALL CONGIST OF THE FOLLOWING MIXTURE OR APPROVED EQUAL OPTIMUM SEEDING DATES LARE BETWEEN APRIL (LAND) MAY 21: AND AUGUST 16 AND OCTOBER 15.

MIXTURE - HARD RESCUE R20 LBS/ACRE PERENMIAL RYE GRASS 30 L89/ACRE KENTOCKY BLUE GRASS (BEEND): 40 LR5/ACR5

MIXTURE -TALC FESCUS 760 LBS/ACRE PERENNIAL AYE GRASS (ELEND) 20 US\$/ACRE KENTOCKY BEUR GRASS (BLEND) 20 LSS/ACRE

- PERMANENT SEEDING TO BE APPLIED BY RAKING OR DRILLING INTO THE SORS AT A RATE OF ISOVIPER ACRE SLOPED AREA TO BE COVERED WITH PRICOPIAS INDICATED IN NOTE 5.
- 4. SERTICIZES FOR THE ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE IN COMPULANCE WITH THE LATEST NYSOEC. REGULATIONS, A SOIL TEST PRIOR TO FERTILIZER APPLICATION IS RECOMMENDED.
- 3 IF SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY OR PERMANENT SEEDING, EXPOSED AREA TO BE STABLIZED WITH MULCH AS INDICIATED.
- 6 MULCH TO CONSIST OF SMALL GRAIN STRAW OR SALT HAY ANCHORED WITH A WOOD AND FIBER MULCH BINDER OR AN APPROVED EQUAL. MOLICH WILL BE SPREAD AT BATES OF 90 TO 115 CBS. PER 1000 SF AND ANCHORED WITH A MULICH ANCHORING TOOL OR LIQUID MULCH SINDER. AND SHALL BE PROVIDED ON ASJ. SEEDINGS, HYDROMULCH SHALL ONLY BE USED DURING OPTIMUM GROWING SEASONS.
- 7. WORK LIME AND FERTRIZER INTO SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC. SPRINGTOOTH HARROW, OR OTHER SURTABLE EQUIPMENT THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON ON THE GENERAL CONTOUR, CONTINUE TRUAGE UNTILL A REASONABLY UNBYORM, FINE SEEDRED IS PREPARED, ALL BUT CLAY OR SELTY SOES AND COARSE SANDS SHOULD BE ROUTED TO FRM THE SEEDSED WHEREVER FEASELS
- 8 REMOVE FROM THE SURFACE AU, STONES TWO INCHES OR LARGER IN ANY DIMENSION, REMOVE ALL OTHER DESRIS, SUCH AS WIRE, CARLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS, OR OTHER UNSUITABLE MATERIAL,
- 9. INSPECT SEEDBED JUST REPORT SEEDING, IF FRASHIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AND FIRMED AS ABOVE.



### 0.5% OR GREATER, DEPENDENT ON TOPOGRAPHY

TO BE INSTALLED ABOVE DISTURBED AREAS, TO DIVERT RUNOFF OFF-SITE WITHOUT SNOREASING ERIOSION: INTERMITTENTLY ACROSS DISTURBED AREAS, TO SHORTEN OVERLAND FLOW DISTANCES; BELOW DISTURSED AREAS, TO DIVERT SEDIMENTILADEN WATER TO A SEDIMENT TRAPPING DEVICE; AND TO SAFELY TRANSPORT RUNOFF ALONG

\* WHERE SWALE TRAVERSES CONSTRUCTION VEHICLE PATH, DEPTH TO BE 61, SEE FLAN FOR

#### INSTAULATION NOTES

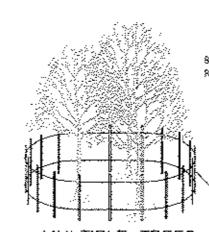
II. ALL SWAKES SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO

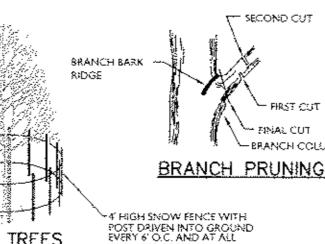
LOCATION

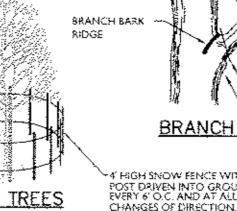
- 2. DIVERTED RUNOFF FROM A DISTURBED AREA SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE.
- 3. DIVERTED RUNOFF FROM AN UNDISTURSED AREA SHALL OUTLIET DIRECTLY INTO AN UNDISTURBED STABILIZED AREA AT NON-EROSIVE VELOCITY. 4 ALE TREES, BRUSH, STUMPS, OBSTRUCTIONS AND OTHER OBJECTIONABLE
- MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE SWALE. 5. THE SWALE SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL
- 6. PILLS SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT, 7. ALL EARTH REMOVED AND NOT NEEDED FOR CONSTRUCTION SHALL BE PLACED SO
- AS NOT TO INTERFERE WITH THE FUNCTIONING OF THE SWALE, B. INSPECTION AND MAINTENANCE MUST BE PROVIDED AFTER EACH KAIN EVENT, 9. STABREZATION SHALL BE SEED AND STRAW MULCH.

#### TEMPORARY SWALE (& EARTH BERM IN FILL CONDITION)

N.T.S.







# L PROTECTIVE FENCING IS TO BE ERECTED PRIOR TO CONSTRUCTION AND MAINTAINED DURING CONSTRUCTION AS DIRECTED BY THE LANDSCAPE ARCHITECT, SOIL CONSERVATION DISTRICT AND/OR

SINGLE TREE

- MUNICIPAL ENGINEER. 2. NO CONSTRUCTION ACTIVITY IS PERMETTED WITHIN THE PROTECTIVE PENCING.
- AS CONSTRUCTION NEARS COMPLETION THE FENCING WILL BE REMOVED AS ORECTED
- 4. AT THE COMPLETION OF CONSTRUCTION ALL TREES WILL BE PRUNED AS NECESSARY TO CORRECT ANY DAMAGE RESULTING FROM CONSTRUCTION ACTIVITY. 3. GENERAL MECHANICAL DAMAGE - SEE DETAIL ABOVE.
- FOR CORRECT PLACEMENT OF TREE PROTECTION. 6. BOX FREES WITHIN 25 FEET OF A SURDING SITE TO PREVENT MECHANICAL INJURY, FENCING OR OTHER BARRIER SHOULD BE INSTALLED AT THE DRIP LINE
- 7, BOARDS WILL NOY BE NAILED TO TREES DURING. BUILDING OPERATIONS.

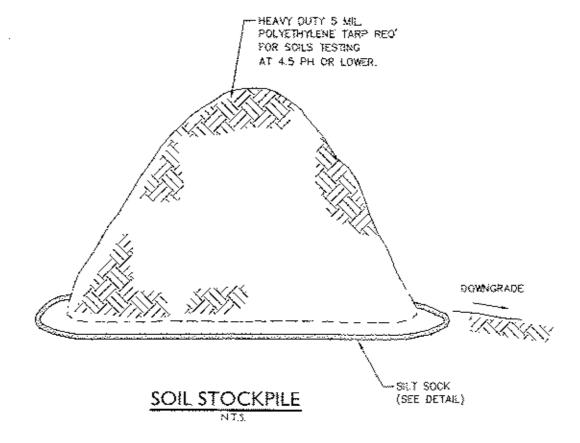
#### & FEEDER ROOTS SHOULD NOT BE OUT IN AN AREA INSIDE THE DRIP LINE OF THE TREE BRANCHES.

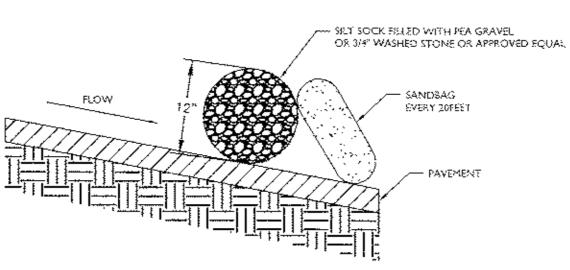
- 9. DAMAGED TRUNKS OR EXPOSED ROOTS SHOULD HAVE DAMAGED BARK REMOVED IMMEDIATELY AND NO PAINT SHALL BE APPLIED, EXPOSED ROOTS SHOULD BE COVERED WITH TOPSOIL IMMEDIATELY AFTER EXCAVATION IS COMPLETE.
  ROOTS SHALL BE FRUNED TO GIVE A CLEAN, SHARP SURFACE
  AMENABLE TO HEALING, ROOTS EXPOSED DURING HOT WEATHER
  SHOULD BE IRRIGATED TO PREVENT PERMANENT TREE INJURY.
  CARE FOR SERIOUS INJURY SHOULD BE PRESCRIBED BY A PROFESSIONAL FORESTER OR CERTIFIED TREE EXPERY.
- 10. TREE LIMB REMOVAL WHERE NECESSARY, WILL BE DONE AS NATURAL YARGET PRUNING TO REMOVE THE DESIRED BRANCH COLLAR. THERE SHOULD BE NO FLUSH CUTS, FLUSH CUTS DESTROY A MAJOR DEFENSE SYSTEM OF THE TREE, NO TREE PAINT SHALL BE APPLIED. ALL CUTS SHALL BE MADE AT THE OUTSHOLD BE APPLIED. ALL CUTS SHALL BE MADE AT THE OUTSHOLD EDGE OF THE BRANCH COLLAR, CUTS MADE TOO FAR BEYOND THE BRANCH COLLAR MAY LEAD TO EXCESS SPROUTING, CRACKS AND ROT, REMOVAL OF A "V" CROTCH SHOULD BE CONSIDERED FOR FREE STANDING SPECIMEN TREES TO AVOID FUTURE SPLITTING DAMAGE.

# TEMPORARY TREE PROTECTION DETAIL

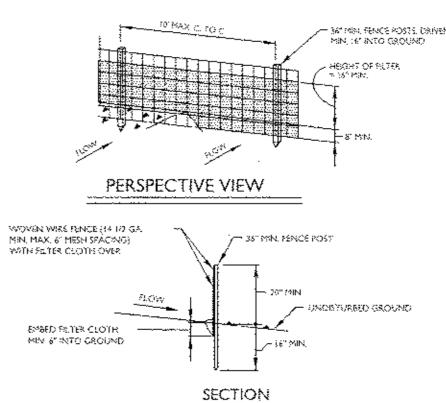
#### TREE PROTECTION NOTES:

- 1. TREE PROTECTION FENCING TO BE INSTALLED ALONG THE DISTURBANCE LIMIT LINE WHEREVER EROSION CONTROL FENCING IS NOT PROPOSED.
- 2. THERE SHALL BE NO STORAGE OF EQUIPMENT OR MATERIALS OUTSIDE CLEARING LIMITS. NO EQUIPMENT IS PERMITTED OUTSIDE CLEARING LIMITS.
- 3. THE FENCING SHOULD REMAIN IN GOOD CONDITION FOR THE DURATION OF THE CONSTRUCTION PERIOD.





SILT SOCK INSTALLATION ON PAVEMENT



#### CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

. WOVEN WIRE FENCE TO 86 FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.

2. FILTER CLOTH TO BE FASTENED SECURELY. TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MIG SECTION.

3. WHEN TWO SECTIONS OF PLIFFIR CLOTH. ACHOIN: EACH OTHER THEY SHALL SE OVERLAPPED BY SIX INCHES AND FOUDED. 4, MAINTENANCS SHALL BE PERFORMED AS

WHEN "BUILDES" DEVELOP IN THE SILT FENCE

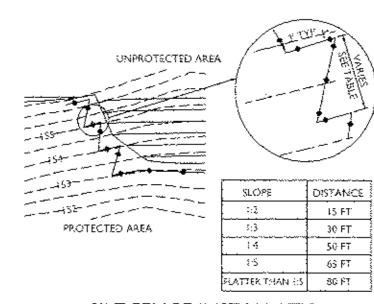
NESDED AND MATERIAL REMOVED.

POSTS: STESL SITHER "T" OR "U" TYPE OR 2" MARDWOOD. FENCE: WOVEN WIRE 14 1/2 GA. 6" MAX, MESH OPENING.

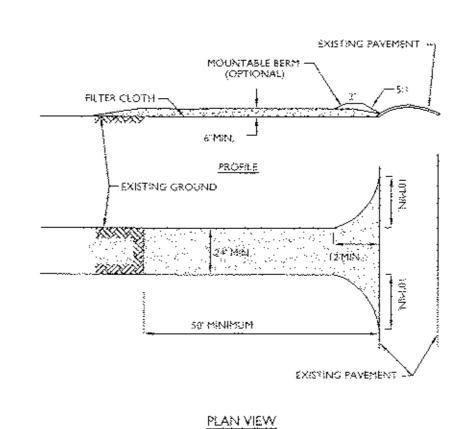
FILTER CLOTH: FILTER X, MIRAFI (00X. STABILINKA T140N. OR APPROVED EQUAL.

PREFABRICATED GEOFAS, ENVIROPENCE. OR APPROVED EQUAL.

## WIRE REINFORCED SILT FENCE



#### SILT FENCE INSTALLATION (WHEN NOT PARALLEL TO CONTOURS)



I. STONE SIZE - USE 2" STONE, OR REQUAIMED OR RECYCLED CONCRETE.

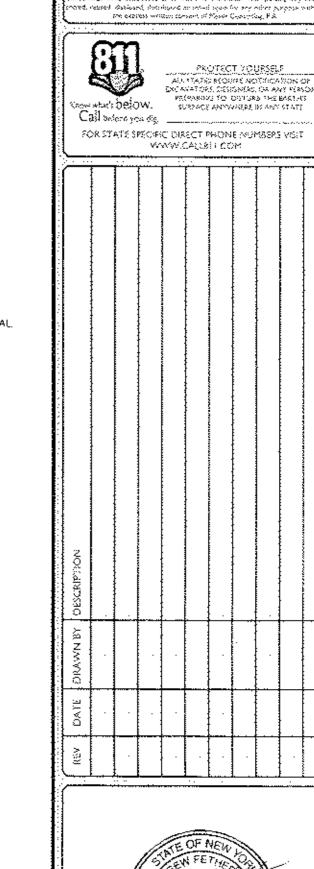
- 2 LENGTH NOT LESS THAN 50 FEET
- 3. THICKNESS NOT LESS THAN (6) INCHES,
- WIDTH 24"

AFTER EACH RAIN.

- S. PLYER CLOTH WILL BE PLACED OVER THIS ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTING BERM WITH 5:5 SLOPES WILL BE PERMETTED.
- 7 MAINTENANCE THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RECHTS-OF-WAY. ALL SEDRAENT SPILLED. DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS OF WAY MUST BE REMOYED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH GRAINS INTO AN APPROVED. SEDIMENT TRAPPING DEVICE.

9. PERFOCIÓ INSPECTION AND NEEDED MAINTENANCE SHALL BE PROYIDED

STABILIZED CONSTRUCTION ENTRANCE



Engineers # Plansers #Surveyors

Landscape Architects: #Environmental Scientists |

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■ Albany, NY

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🗷 Bethlehem, PA

🗷 Exton, PA

🗷 Тагора, FL

■ Chestniar Ridge, NY

📕 Red Bank, 🎶

Clinton, Nt.

■ Pamilton, N

■ Marmota, NJ

Mt. Artington, it

■ Mt. Ezudet, Nj

■ Storkey, VA

■ Norfolk, VA

■ Albuquesque, NM



andrew B. Fetherston NEW YORK LICENSED PROFESSIONAL SNOWSER - ISCENSE NUMBER: 73355-1

PRELIMINARY SITE PLAN

FOR

IRON WORKERS

SECTION 4

LOCAL 417

BLOCK 3 LOT 5.2

TOWN OF NEWBURGH ORANGE COUNTY NEW YORK



N.71S.

3607 Route 300 Saste 303 Newbargh, NY 32550 Phone: 845 564,449S Fax. 845,364 0278

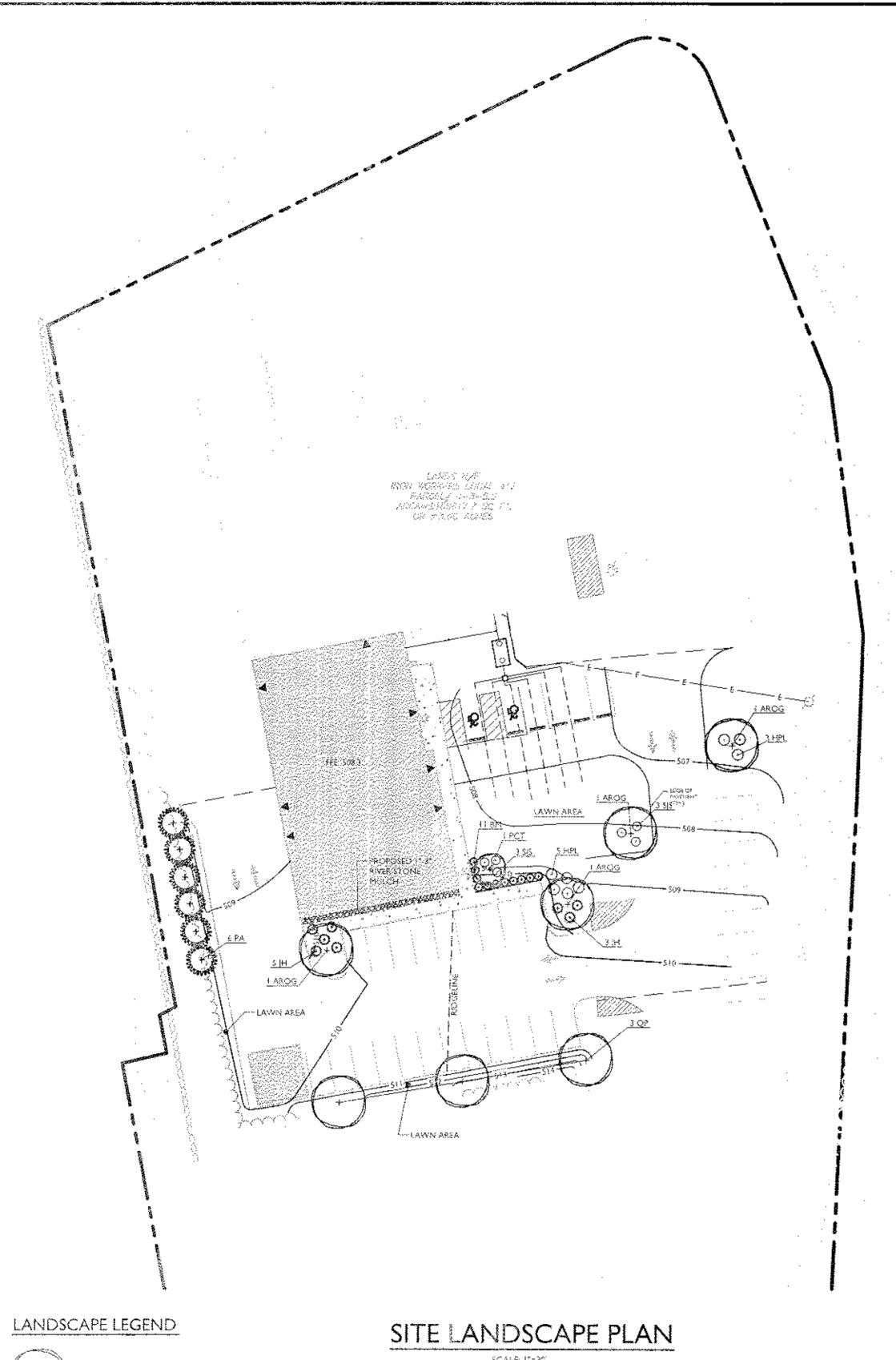
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SOIL EROSION & SEDIMENT CONTROL DETAILS

08/98/48



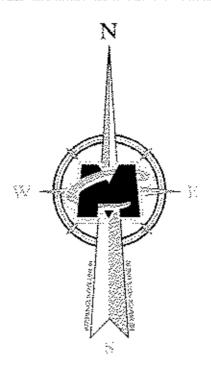
----- PROPOSED SHADE/STREET TREE — PROPOSED ORNAMENTAL TREE — PROPOSED EVERGREEN TREE

- PROPOSED SHRUB

SITE PLANTING SCHEDULE KEY QTY. BOTANICAL NAME HEIGHT CALIFER SPREAD ROOT DECIDUOUS TREES AROG 4 ACER RUSRUM OCTOBER GLORY
PCT 1 PRUNUS CERASIFERA THUMDERCLOUDY \$ 8 8 STRAIGHT LEADER/SYM, BRANCHING STRAIGHT LEADER/SYM, BRANCHING QP 3 QUERCUS PALUSTRIS EVERGREEN TREES PA 6 PICEA ABIES NORWAY SPRUCE SHRUBS 13 BUXUS MICROPHYLLA VAR JAPONICA WINTER GEM WINTER GEM BOXWOOD

R DIVORANGEA PANECULATA "LIMELIGHT" LIMELIGHT HYDRANGEA BM 13 BUXUS MICROPHYLLA YAR JAPONICA Y HPL 8 HYDRANGEA PANGULATA UMELIGHT TYPICAL SPECIES HABIT TYPICAL SPECIES HABIT JH 8 JUNIPERUS HORKZONTALIS 'BAR HARROR' SJS 6 SPIRAEA JAPONICA 'SHROBANA' TYPICAL SPECIES HABIT

SHIROBANA SPIREA



PLAN NOTE

1. THESE PLANS ARE TO BE USED FOR LANDSCAPE & LIGHTING PURPOSES ONLY. REFER TO DETAIL SHEETS FOR GENERAL NOTES AND LANDSCAPE & LIGHTING DETAILS.

#### LANDSCAPE NOTES

- I. LOCATIONS OF ALL PLANT MATERIAL AND PLANTING BED OUTLINES IS APPROXIMATE. AND MAY VARY DUE TO THE LOCATIONS OF SITE IMPROVEMENTS AND/OR BUILDINGS.
- 2. PINAL LOCATION OF ALL PLANT MATERIAL AND PLANTING BED OUTLINES SHALL SE DETERMINED IN THE FIELD UNDER THE DIRECTION OF THE PROJECT LANDSCAPE ARCHITECT.
- 3. ALL AREAS WITHIN THE PLANTING BED LIMITS SHALL BE MIJLCHED WITH 3" OF SHREDDED HARDWOOD BARK MULCH.
- 4. LÁYVN ÁRBÁS ÁROUND BUILDINGS AND PARKING ARBAS SHALL BE STABILIZED WITH SEED. 5 ANY PROPOSED IRRIGATION DESIGN AND/OR SYSTEM WILL BE DETERMINED IN THE HELD
- BY THE IRRIGATION CONTRACTOR. 6. ALL PLANT MATERIAL SHALL CONFORM TO GUIDELINES AS SET FORTH IN THE LATEST

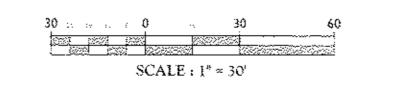
EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARD FOR NURSERY

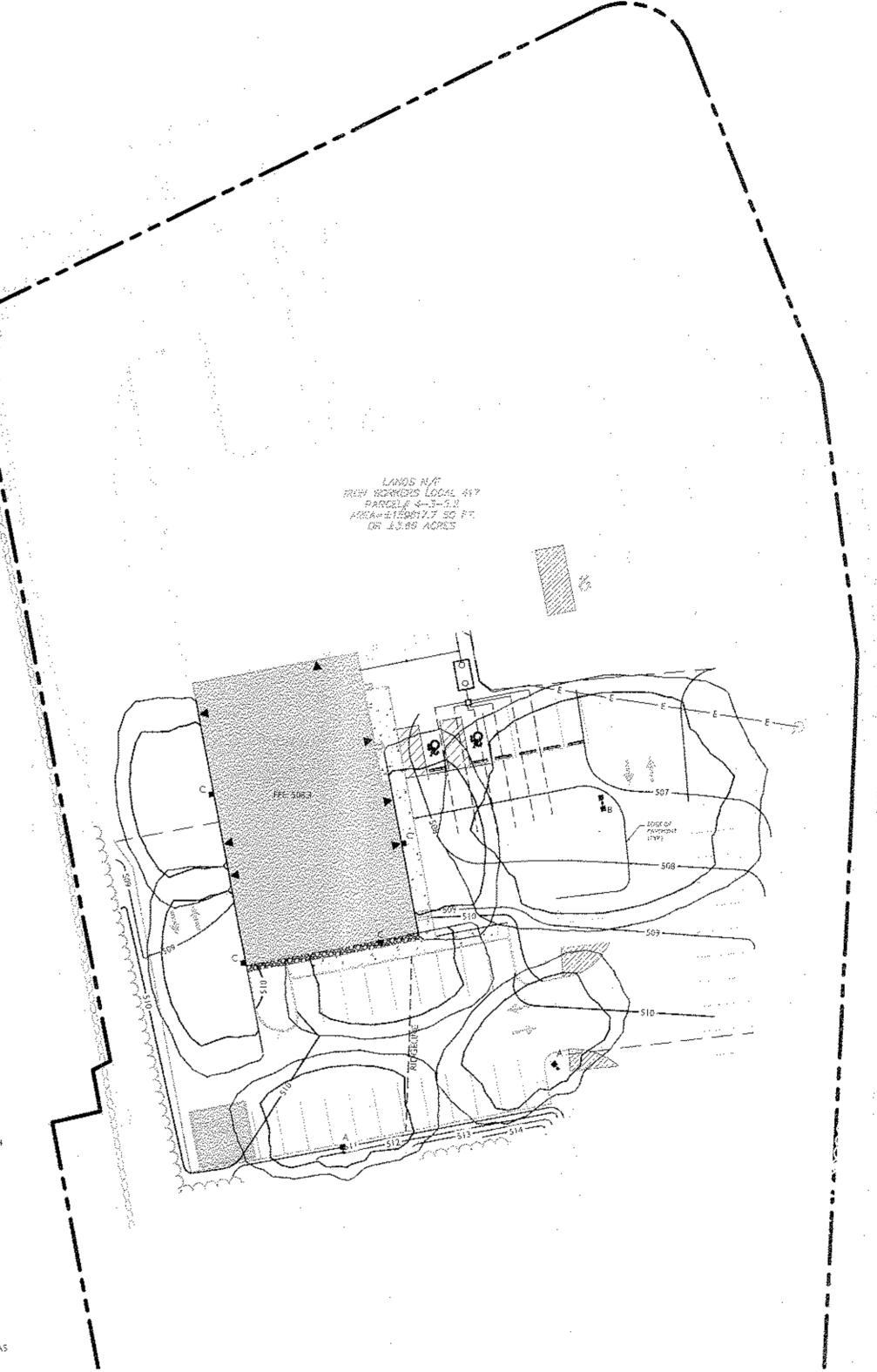
- 7. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN CONSENT. FROM THE TOWN OF NEWBURGH LANDSCAPE CONSULTANT.
- 8. THE OWNER SHALL ENTER INTO A COMPREHENSIVE MAINTENANCE PLAN AGREEMENT WITH A LANDSCAPE CONTRACTOR FOR THE TURF AND PLANTING AREAS, THE MAINTENANCE FLAN SHALL INCLUDE WATERING, MOWING, FERTILIZING, PRUNING, MULCHING AND OTHER ACTIVITIES AS NECESSARY TO MAINTAIN THESE AREAS IN LIVING AND HEALTHY CONDITION, SEASONAL PLANTING OF ANNUALS, AND SEMIANNUAL REPLACEMENT OF TREES AND OTHER PLANTED VEGETATION THAT DO NOT SURVIVE. ALL PLANTS SHALL BE TRIMMED AND PRUNED, GRASS AREAS MOWED, MULCH AREAS RE-MULCHED AS REQUIRED AND ALL DEAD TREES, SHRUBS, BUSHES AND THE LIKE REPLACED PROMPTLY. ALL BARREN AREAS SMALL BE RESEEDED. THE OWNER AND/OR SITE MANAGER SHALL RETAIN THE SERVICES OF A PROFESSIONAL LANDSCAPER TO MAINTAIN ALL LANDSCAPED AREAS AS APPROVED ON THE SITE PLAN AND SHALL PROVIDE A COPY OF THE CONTRACT TO THE BUILDING DEPARTMENT ANNUALLY OR WHENEVER THE RENEWAL PERIOD SPECIFIED IN THE SERVICE AGREEMENT

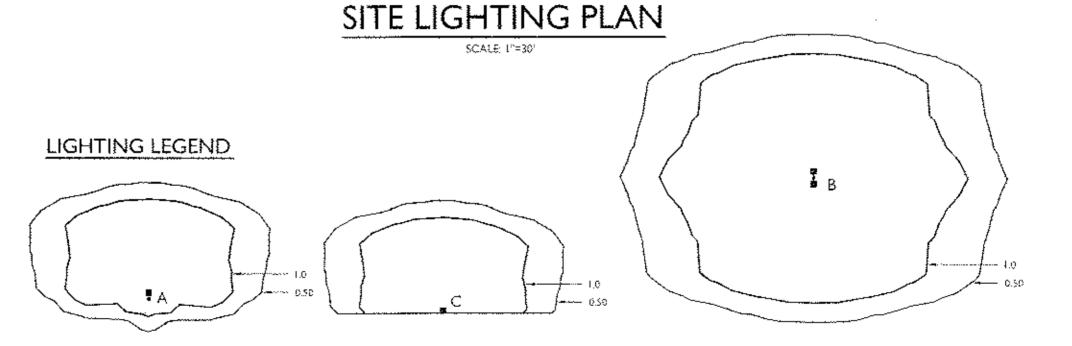
## LIGHTING NOTES

TYPICAL SPECIES HABIT

- 1. LAMPS ARE TO BE LED. A LIGHT LOSS FACTOR OF 0.90 WAS USED.
- 2. POLE MOUNTED FIXTURES SHALL BE PLACED A MINIMUM OF THREE(3) FEET BEHEND CURBS (AS APPLICABLE)
- 3. POLE LOCATIONS ARE APPROXIMATE AND MAY VARY DUE TO SPECIFIC SITE CONDITIONS. THE LIGHTING CONTRACTOR SHALL FIELD VERIFY POLE LOCATIONS IN ORDER TO ACCOMMODATE UTILITIES AND PAVEMENT
- 4. EIGHTING SHOWN ON PLAN DEPICTS AVERAGE MAINTAINED POOTCANDLE LEVELS AT
- 5. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF LIGHT FIXTURES FOR REVIEW AND
- APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT. 6. CONCRETE FOOTHNGS FOR POLE MOUNTED LIGHTS TO BE DESIGNED, SIGNED AND
- SEALED BY A NYS LICENSED ENGINEER.
- 7. ELECTRICAL DESIGN FOR SITE LIGHTING TO BE DESIGNED BY OTHERS.







LUMINAIRE SCHEDULE							
KEY	QTY.	DESCRIPTION	ARRANGEMENT	ऑु. ऑु. ऑु.	LUMENS	LLF	CATALOG #
A	2	SPAULDING LIGHTING - CIMARRON / CL.1-30LED-TYPE 3-BC	SINGLE	15" (POLE)	7,728	0.90	CL1-A-30L-*-4K-3-D8-PR-BC
а	;	SPAULDING LIGHTING - CIMARRON / CEL-60LED/TYPE 3	DOUBLE	20" (POLE)	:7.647	0.90	CL1-A-601, 1-4K-3-D8-PR
C	3	SPAULDING LIGHTING - CIMARRON / CL.1-30LED-1YPE 3-BC-WB	SINGLE	15" (WAG.)	7,728	0.90	CULA-36L-1-4K-3-DB-PR-8C-W6

NOTE: ALL FIXTURES TO BE LED. \* - VOLTAGE TO 85 PROVIDED BY ELECTRICAL ENGINEER



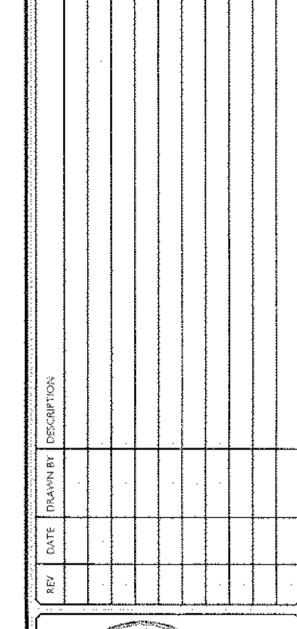
www.milcorconsultrag.com Engineers • Mannord • Surveyors itandscape Architects - Environmental Scientiscs

🛎 Red Bank, 🎨 Clinton, No. Ebestrisz Rodge, NO 🖷 Mamskop, Nj 🗷 Newburgs, NY 🖛 (Hasmora, N) Mt. Assington, N) 🛎 Berjolehera, PA ■ Mt. Lzurél, NŞ 🗷 Excopt PA Scerling, VA 🗷 🗷 Philodelpha, PA Nortolk, VA

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JUSTIN E. DATES NEW YORK REGISTERED LANDSCAPE ARCHITECT - LICENSE NUMBER: 901964

PRELIMINARY SITE PLAN

FOR

**IRON WORKERS** LOCAL 417

> SECTION 4 BLOCK 3 LOT 5.2

TOWN OF NEWBURGH ORANGE COUNTY NEW YORK

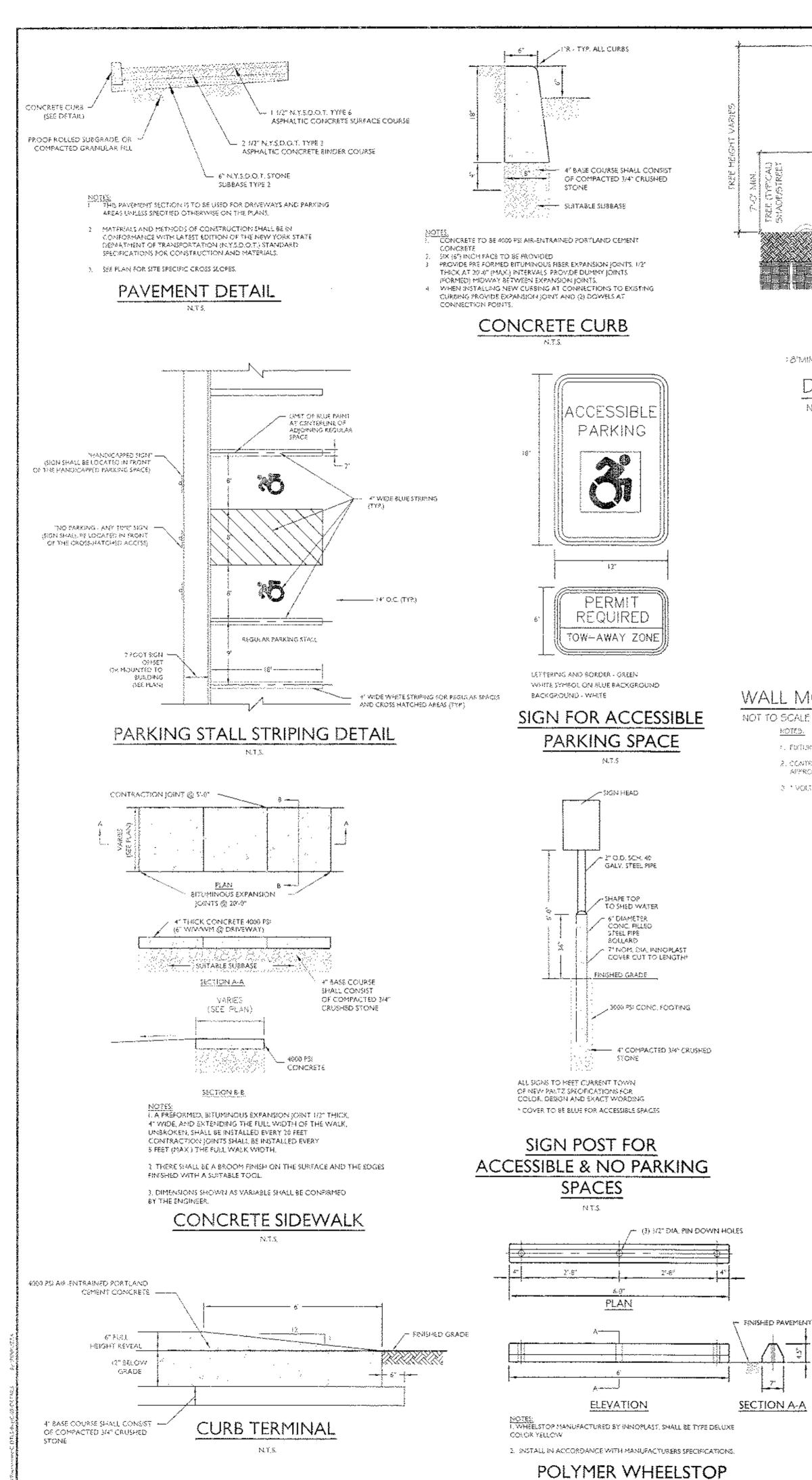


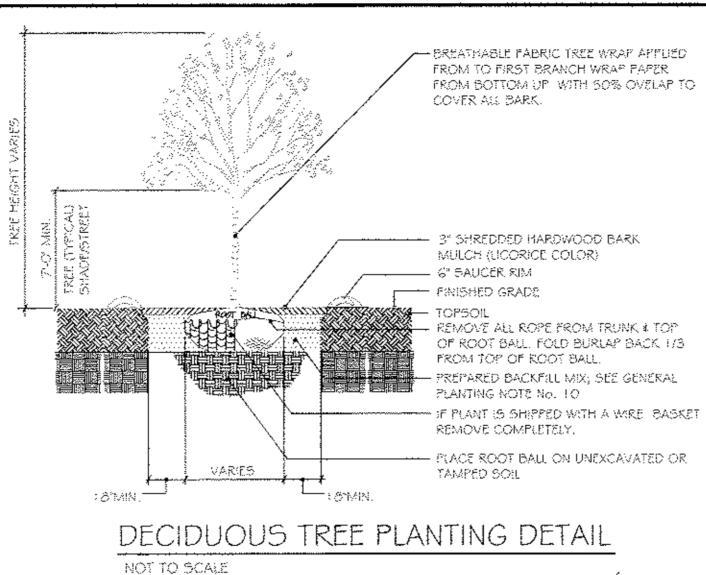
State 404 Newburgh, NY 12550 Phone: \$43,564,4495 6ax, 845,564,0278

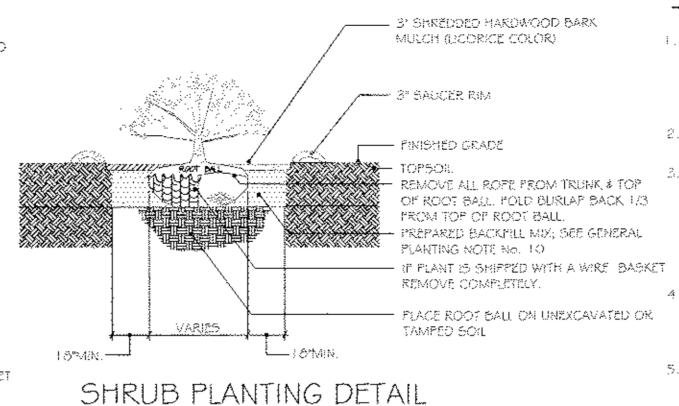
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14000637A LANDSCAPE &

LIGHTING PLAN







SHRUB PLANTING DETAIL

- 31 SHREDDED HARDWOOD BARK MULCH (LICORICE COLOR) --- 61 SAUCER RIM WALL MODAY -~~†IN≶SHED GRADE PROPOSCO-BUR ONG OF ROOT BALL, POLD BURLAP BACK 1/8 FROM TOP OF ROOT BALL PREPARED BACKPILL MIX:

WALL MOUNTED FIXTURE DETAIL - FIXTURE C

m PNISHED

NO PARKING ANY TIME

SIGN (R7-1)

GRADE

NOT TO SCALE MOTES.

1. FIXTURES TO BE MARCHACTURED BY STAULDING LIGHTING

2. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF LIGHT PIXTURES FOR PRIVIEW AND AFFROVAL BY THE OWNER OR PROJECT LANDSCAPE ARCHITECT.

3 1 VOLTAGE TO BE CONFIRMED BY SUSCIRICAL ENGINEER.

EVERGREEN TREE PLANTING DETAIL NOT TO SCALE

VARIES

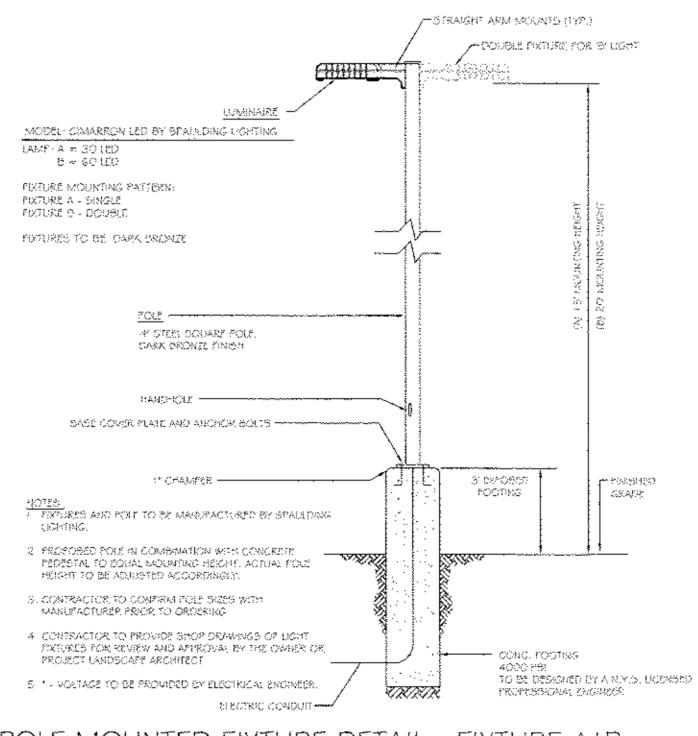
SEE GENERAL PLANTING NOTE No. 10

REMOVE COMPLETELY.

PLACE ROOT BALL ON

UNEXCAVATED OR TAMPEO.

IF PLANT IS SHIPPED WITH A WIRE BASKET



POLE MOUNTED FIXTURE DETAIL - FIXTURE A&B NOT TO SCALE

## GENERAL PLANTING NOTES

- THIS PLAN SHALL BE USED FOR LANDSCAPE PLANTING PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES AND STRUCTURES AND NOTIFY THE LANDSCAPE. ARCHITECT OF ANY DISCREPANCIES OR LOCATION. CONFLICTS PRIOR TO FLANTING INSTAULATION.
- 12. THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND VERIFY LOCATION OF ASJUTESTIES ON SITE PRIOR TO CONSTRUCTION.
- 3. ALL PLANT MATERIAL SHALL CONFORM SO GUIDELINES AS SET FORTH IN THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARD FOR NURSERY STOCK OR THE FLANT MATERIAL WILL BE UNACCEPTABLE. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY, SIZE AND BE CERTIFIED DISEASE AND INSECT FREE, THE OWNER AND/OR THE LANDSCAFE ARCHITECT RESERVES THE RIGHT TO APPROVE ALL PLANT MATERIAL ON SITE PRIOR TO INSTALLATION.
- 4 NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITH REGARD TO SIZE, SPECIES, OR VARIETY WITHOUT WRITTEN PERMISSION OF THE LANDSCAPE CONSULTANT FOR THE TOWN OF WAWAYANDA, WRITTEN PROOF OF PLANT MATERIAL UNAVAILABILITY. MUST BE DOCUMENTED.
- 5. THE LOCATION OF ALL PLANT MATERIAL INDICATED ON THE LANDSCAPE PLANS. ARE APPROXIMATE. THE FINAL LOCATION OF ALL PLANT MATERIAL, AND PLANTING BED LINES SHALL BE DETERMINED IN THE FIELD UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT, NO SHADE TREE. STREET TREE. ORNAMENTAL FLOWERING TREE OR EVERGREEN TREE SHALL BE PLANTED. CLOSER THAN 10' FROM ANY SIDEWALK, DRIVEWAY, CURB OR UTILITY. LOCATION UNLESS SPECIFICALLY DIMENSIONED ON THE LANDSCAPE PLAN OR INSTALLED WITH PHYSICAL ROOT BARRIER.
- G. ALE STREET TREES AND SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED (OWER THAN \$1-0" ABOVE GRADE, ALL PLANT MATERIAL LOCATED WITHIN SIGHT TRIANGUE BASEMENTS. SHALL NOT EXCITED A MAYLIRE HEIGHT OF 30" ABOVE THE ELEVATION OF THE ADJACENT CURB. AGESTREET TREES PLANTED IN SIGHT TRIANGLE EASEMENTS SMALL BE PRUNED TO NOT HAVE BRANCHES SELOW TO -O"
- 7. THE PLANTING PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT QUANTITY DISCREFANCIES OCCUR.
- 5. ALL PLANT MATERIAL SHALL BY PROPERLY INSTALLED IN CONFORMANCE WITH THE TYPICAL FLANTING DETAILS - INSTALL ALL PLANT MATERIAL ON UNDISTURBED GRADE. PROVIDE BURLAP WRAPPING WITH A 50% OVERLAP. CUT AND REMOVE JUTE BURLAR FROM TOP ONE-THIRD OF THE ROOT DAIL. WIRE DASKETS AND AND NOT JUTE BURKAP SHALL BE COMPLETELY REMOVED FRIOR TO BACKFILLING THE PLANT PIT.
- 9. BRANCHES OF DECIDUOUS TREES SHALL BE PRUNED BACK BY NO MORE THAN ONE QUARTER (1/4) TO BALANCE THE TOP GROWTH WITH ROOTS. AND TO PRESERVE THEIR CHARACTER AND SHAPE, THE CENTRAL LEADER OF TREE SHALL NOT BE PRUNED.
- TO, PROVIDE PLANTING PITS AS INDICATED ON FLANTING DETAILS, BACKER, PLANTING FITS WITH ONE PART EACH OF TOPBOIL, PEAT MOSS AND PARENT MATERIAL IF WET SOIL CONDITIONS EXIST THEN PLANTING PITS SHARL BE EXCAVATED AN ADDITIONAL 12" AND FILLED WITH CRUSHED STONE.
- CH. ALL PLANT MATERIAL SHALL BEAR THE BAME RELATION TO FINISHED. GRADE AS IT BOXE TO EXISTING GRADE AT NURBERY.
- 12. OFTIMUM PLANTING TIME: DECIDUOUS - APRIL / TO JUNE 1 # OCTOBER 15 TO DECEMBER 15. CONFEROUS - APRIL 1 TO JUNE + 4 SEPTEMBER 1 TO WOVEMBER 1
- 13 NEWLY INSTALLED PLANS MASTERIAL SHALL BE WATERUD AT 196 TIME OF INSTALLATION. REGULAR WATERING SHALL BE PROVIDED TO ENGURE THE ESTABLISHMENT, GROWTH AND BURVIVAL OF ALL PLANTS.
- 14. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR TWO YEARS AFTER THE DATE OF FINAL ACCEPTANCE. ANY PLANT MATERIAL THAT DIES WITHIN THAT FIME PERIOD SHALL DE REMOVED, INCLUDING THE STRMP, AND REPLACED BY A TREE OF SIMILAR SIZE AND SPECIES AT NO EXPENSE TO THE OWNER.
- 15. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM 4"-6" LAYER OF TOPSOIL IN ALL LAWN AREAS AND A MINIMUM OF 12" OF TOPSOIL IN ALL PLANTING AREAS. A PULL SOIL ANALYSIS SHALL BE CONDUCTED AFTER. CONSTRUCTION AND PRIOR TO PLANTING TO DETERMINE THE EXTENT OF SOIL AMENDMENT REOLIRED I SOIL PHI SHOULD BR 5.5-6.5.
- TIG. I ALL DISTURBED LAWK AREAS SHALL BE STABILIZED WITH I SEED AS INDICATED. ON THE LANDSCAPE PLANS, TEMPORARY SEEDING SMALL BE IN ACCORDANCE WITH THE SOIL EROSION AND SEDIMENT CONTROL PLAN, WHILE PERMANENT SEEDING SHALL BE IN ACCORDANCE WITH THE SEEDING NOTES ON THIS SHEET, ALL DISTURBED (AWN AREAS SHALL BE TOPSOILED, LIMED, FERTILIZED AND FINE GRADED PRIOR TO LAWN INSTAULATION.
- 17. ALL PLANTING BEDS BHALL RECEIVE 3" OF SHREDDED MARDWOOD BARK MULCH.
- TO. ALL SHRUB MASSES SHARL BE PLANTED IN CONTRIOUS MITICHED DEDS.
- 19 ALL EXISTING TREES AND SHRUDS TO BE PRESERVED ON SITE SHALL BE PROTECTED AGAINST CONSTRUCTION DAMAGE BY SNOW FENCING, AU. FENCING SHALL BE PLACED OUTSIDE THE INDIVIDUAL TREE CANOPY, ALL TREES TO REMAIN SHALL BE IDENTIFIED IN THE PIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION, GRADING OR CLEARING, ALL EXISTING VEGETATION BEING. PRESERVED AND LOCATED AT THE EDGE OF THE NEW TREELING, SHALL BE PROVED. AND TRIMMED TO REMOVE ALL DEAD, DISEASED, OF DAMAGED BRANCHES.
- 20. ALL FLANTING DEBRIS (WIRE, TWINE, RUBBER HOSE, BACKSILL ETC.) SHALL BE REMOVED FROM THE SITE AFTER PLANTING IS COMPLETE. PROPERTY IS TO BE LEFT IN A NEAT ORDERLY CONDITION IN ACCORDANCE WITH ACCEPTED PLANTING. PRACTICES.

## PLANT DETAIL NOTES

- INO BOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT, MULCH SHALL NOT TOUCH THE TREE TRUNK
- 2. PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN BY NURSERY.
- 3. WEE BASKETS AND NON-JUTE BURLAR MUST SCIENTIRELY REMOVED FROM THE ROOT BALL, AUT. BURGAR MUST BE REMOVED FROM THE TOP 1/3 OF THE ROOF BASIL
- 4 DEPTH OF PLANT PIT SHALL BE INCREASED BY 12" WHEREVER POOR SOIL CONDITIONS OCCUR. WITH THE ASSISTION OF LOOSE AGGREGATE.
- S. CONTRACTOR BHALL PARTIALLY FILL WITH WATER A REPRESENTATIVE INLAMBER OF PITS IN EACH AREA OF THE PROJECT PRIOR TO PLANTING TO DETERMINE IF THERE IS ADEQUATE PERCOLDING. IF PIT

DOESN'T PERCOLATE, MEASURES MUST BE TAKEN TO ADSURE PROPER DRAINAGE BEFORE PLANTING

- IS. I PLANTING MUST BE GUARANTEED FOR TWO DUAL GROWING BEASCAIS FROM THE TIME OF FINAL ACCEPTANCE BY THE LANDSCAPE CONSULTANT, CONTRACTOR SHALL REMOVE ALL WRAPPING AT THE END OF GUARANTEE PERIOD
- 7. SACKFILL MIXTURE TO BE SPECIFIED BASED UPON SOIL TEST AND CULTURAL REQUIREMENTS OF PLAN
- 5. PRUNE DAMAGED AND CONFLICTING BRANCHES MAINTAINING NORMAL TREE SHAPE, NEVER CUT CEATRAL TRUNK OR LEADER.



Engineers # Planners #Surveyors Landscape Antibisects: #Envisionmental Sciencists

# Red 8ask, Nj Albany, NY ■ Chestnut Ridge, NY # Cipton, NI # Hamilton, N ■ Nawburgh, NY Marmora, Ni ■ Hawahoree, NY ■ 終t. Arlangton, N 🚇 Batishghem, PA Mt. Laksnell, Nt. 単 Exton, PA Steeling, VA Fisitadelphia, FA

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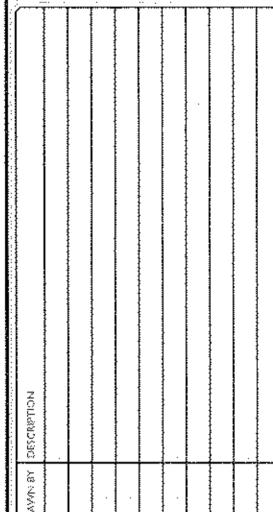
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■ Norfolk, VA

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andrew b. fetherston NEW YORK LICENSED PROFESSIONAL ENGINEER - LICENSE NUMBER: 73555-7

PRELIMINARY SITE PLAN

FOR IRON WORKERS LOCAL 417

> SECTION 4 BLOCK 3 LOT 5.2

TOWN OF NEWBURGH ORANGE COUNTY NEW YORK

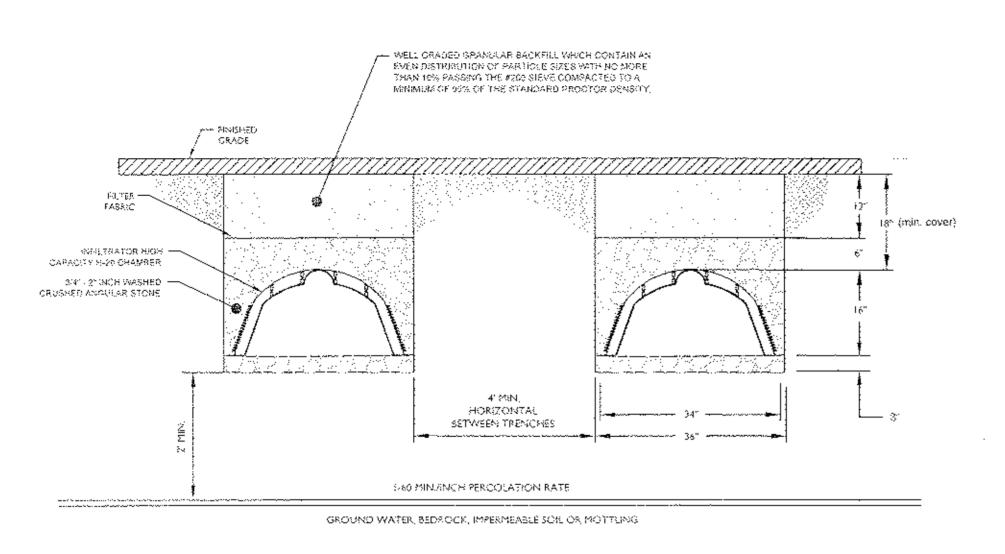


1607 Route 300 Saste 103 Newtongo, 687 (2850) Fagner 845,564,4495 Fax: 845.564.02.78

email: acéuticos (Senarer Consultiria.con

98/06/15 REJECT NUMBER: DRAWING NAME 14000857A

CONSTRUCTION DETAILS



# INFILTRATOR H-20 CHAMBER SEPTIC TRENCH DETAIL

N.T.5.

NOTES:

1) THE SYSTEM SHALL HAVE INSPECTION PORTS PER MANUFACTURER SPECIFICATIONS.

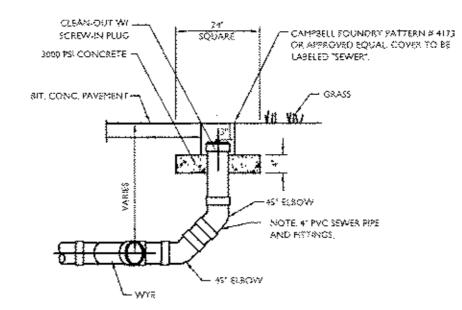
2) TRENCH BOTTOM SHALL BE SLOPED AWAY FROM THE BUILDING AT 1/16"

TO 1/32", WHILE PROVIDING THE 12" COVER, MINIMUM SEPARATION FROM THE TRENCH BOTTOM TO ROCK OR WATER SHALL ALSO BE MAINTAINED.

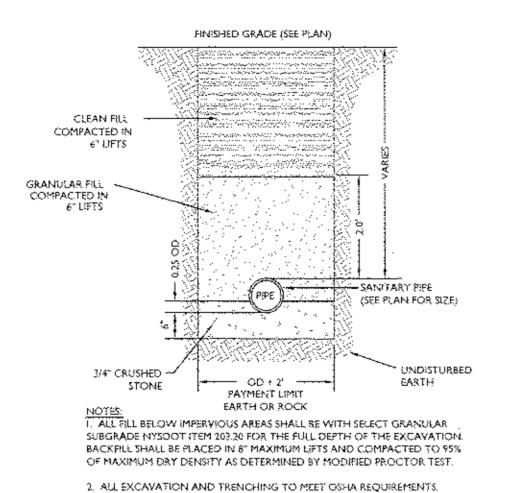
3) END OF ALL INFILTRATOR CHAMSERS TO BE CAPPED.

4) TRENCHES SHALL NOT BE CONSTRUCTED IN WET SOIL.

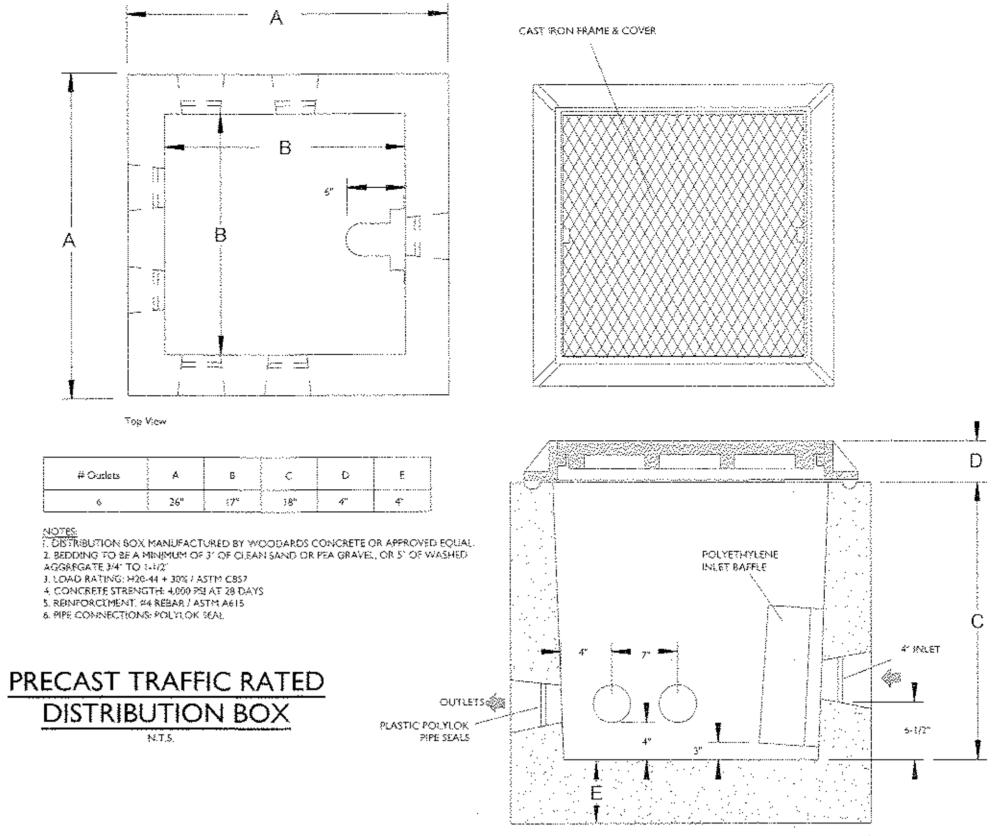
5) EVELTBATOR INSTALLATION ENSTRUCTIONS MUST BE FOLLOWED WHEN



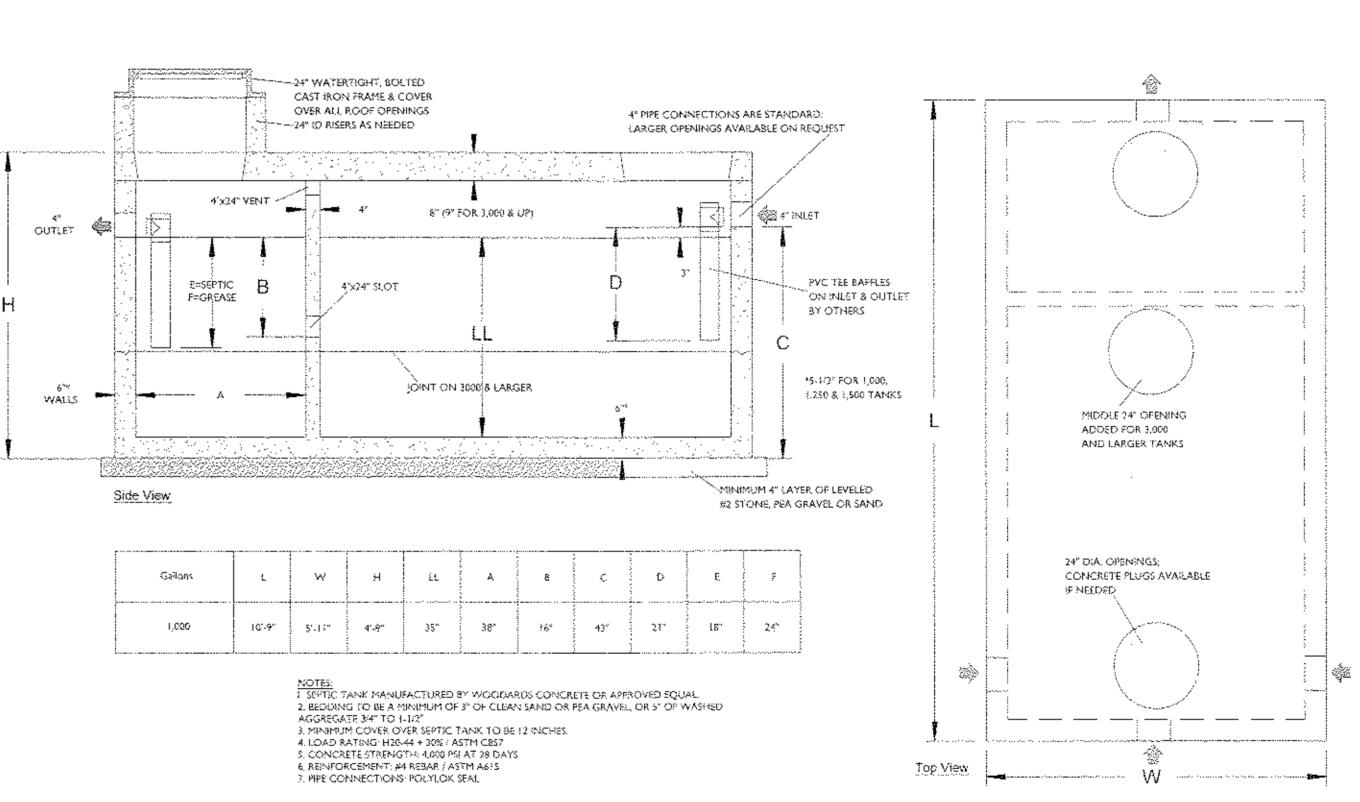
## SANITARY SEWER CLEANOUT AT BEND



# TYPICAL TRENCH & BEDDING DETAIL

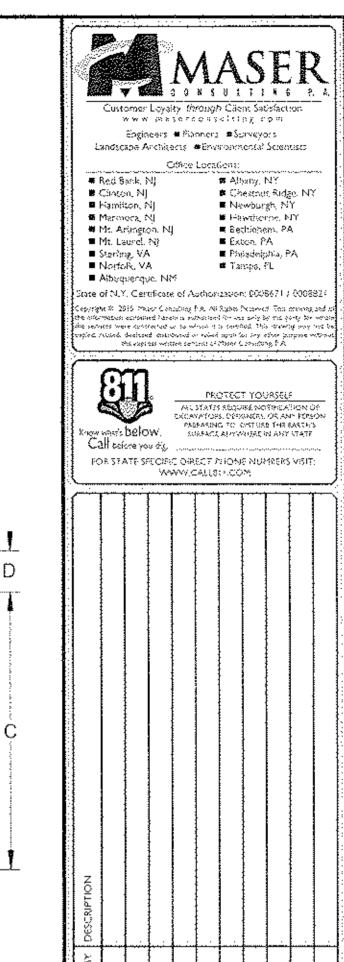


SIDE VIEW



## PRECAST TRAFFIC DUTY SEPTIC TANK (1,000 GALLONS)

S.





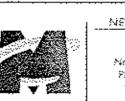
ANDREW B. FETHERSTON
NEW YORK LICENSED PROFESSIONAL
ENGINEER - LICENSE NUMBER: 73555-1

PRELIMINARY SITE PLAN

FOR IRON WORKERS LOCAL 417

> SECTION 4 BLOCK 3 LOT 5.2

TOWN OF NEWBURGH ORANGE COUNTY NEW YORK



NEWBURGH OFFICE 1607 Route 300 Suite 101 Newburgh, NY 12550 Phone: 845 564, 4495 Fax: 845,564,0778

email: Felistians (km.ksercensulting.com OATE DRAWNER, CHECKED)

N.T.S. 08/09/33 (ED 30/ECT NUMBER: DRAWING NAME 34000837A C-07125

CONSTRUCTION DETAILS