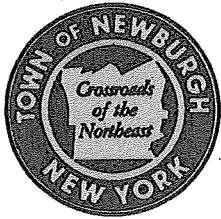


#5B



TOWN OF NEWBURGH POLICE DEPARTMENT

300 Gardnertown Road, Newburgh, New York 12550

Donald B. Campbell
Chief of Police

(845) 564-1100

(845) 564-1870

October 8th 2024

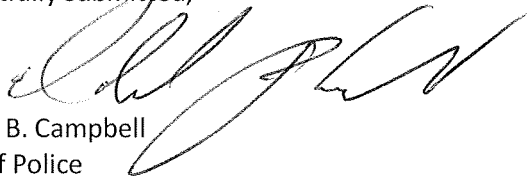
To: Newburgh Town Board

From: Chief Donald B. Campbell

Subject: Purchase of Drone, Software and Equipment

I am requesting the Town Board approve the purchase of a DJI Matrice 30T Drone and necessary accessories and software from Hudson Valley Drones for the amount of \$13,250. Hudson Valley Drones provided the lowest quote of three vendors. A Drone program would provide the police department with enhanced abilities when searching for missing persons, crowd surveillance, traffic enforcement other support purposes. The project is being fully funded under the NYS DCJS Law Enforcement Technology Grant (budget# A3120.5200)

Respectfully submitted,


Donald B. Campbell
Chief of Police

ESTIMATE

Hudson Valley Photography
Services LLC
PO Box 420
Gardiner, NY 12525

info@hvdronesny.com
845-450-0002
http://www.hvdronesny.com



Bill to

Town of Newburgh Police Department
300 Gardnertown Road
Newburgh, NY 12550

Ship to

Town of Newburgh Police Department
300 Gardnertown Road
Newburgh, NY 12550

Estimate details

Estimate no.: 1116

Estimate date: 07/31/2024

#	Date	Product or service	Description	Qty	Rate	Amount
1.		M30T (NA) SP Shield Basic	(1) DJI Matrice 30T Aircraft (1) DJI RC Plus Remote Controller (1) BS30 Battery Station (3) Pairs of 1671 Propellers (Two installed on aircraft, one spare pair) (1) USB-C Cable (1) USB-C to USB-C Cable (1) Carrying Case (1) Screws and Tools (1) Year Enterprise Shield Basic (2) TB30 Batteries	1	\$9,637.00	\$9,637.00
2.		TB30 Battery	Intelligent Flight Battery for M30 Series (two batteries needed per set)	4	\$329.00	\$1,316.00
3.		WB37	RC Battery	1	\$59.00	\$59.00
4.		DJI RC Plus Strap Bracket Kit	DJI RC Plus Strap Bracket Kit	1	\$39.00	\$39.00
5.		CZI LP12 Searchlight & Broadcasting System for M30 Series	CZI LP12 Searchlight & Broadcasting System for M30 x1 CZI 1-Year Limited Warranty	1	\$2,199.00	\$2,199.00
6.		Unboxing/Training	Complementary unboxing and set-up with one day of onsite training. COA support provided free of charge.	1	\$0.00	\$0.00

Total

\$13,250.00

Accepted date

Accepted by



Proposal

ADDRESS

Town of Newburgh Police
 Attn: Lt. Matthew Nadolny
 300 Gardnertown Rd
 Newburgh, NY 12550
 mnadolny@townofnewburghpd.org

SHIP TO

Town of Newburgh Police
 Attn: Lt. Matthew Nadolny
 300 Gardnertown Rd
 Newburgh, NY 12550
 mnadolny@townofnewburghpd.org

PROPOSAL # 072224-M30T
DATE 07/22/2024

ACTIVITY	QTY	RATE	AMOUNT
Matrice 30T Basic Combo MATRICE 30T SP -Sensors that detect obstacles in six directions -The IP55 weather rating ensures that you are protected from the elements. -Operating temperatures range from -20 C to 50 C. -Emergency landing capability with three propellers -Four-antenna Enterprise transmission with OcuSync 3 -The smart BS30 charging case allows for rapid battery charging from 20% to 90% in 30 minutes. Zoom Camera - 1/2" CMOS - 48mp - Focal Length: 113-405mm Wide Camera -1/2' CMOS - 12mp - Focal Length: 24mm Thermal Camera - Focal Length: 40mm - Uncooled VOx Microbolometer Thermal Imager Includes: 1x DJI Matrice 30 2x TB30 Intelligent Flight Battery 1x BS30 Intelligent Battery Station 1x DJI RC Plus 1x1671 Propeller (CW) 1x 1671 Propeller (CCW) 1x USB-C Cable 1xUSB-C to USB-C Cable 1x Aircraft storage case 1x DJI Care Enterprise Basic (1 Year)	1	9,637.00	9,637.00T
MATRICE 30 Series - TB30 Intelligent Drone Battery -Spare batteries for M30 Series	4	329.00	1,316.00T

ACTIVITY	QTY	RATE	AMOUNT
-Self-heating			
-41 minute flight time			
WB37 Intelligent Battery	1	59.00	59.00T
Compatible with Cendence, CrystalSky M300 Smart controller, M30 Smart Controller & D-RTK Base Stations			
DJI RC Plus Strap Bracket Kit	1	39.00	39.00T
CZI LP12 Speaker & Spotlight for M30/M30T	1	2,199.00	2,199.00T

Indemnity

By signing this proposal you are agreeing to indemnify NOAR Technologies and hold it harmless from and against any loss, damage, claim or demand whatsoever arising out of the resale of the Products.

Limitation. In no event shall NOAR Technologies be liable for indirect, consequential or incidental damages (including damages for loss of business profits, business interruption, loss of business information and the like) arising out of the use of, or inability to use, said product.

Terms & Conditions:
All quoted prices are subject to change

SUBTOTAL 13,250.00
TAX ~~1,076.56~~
TOTAL **\$14,326.56**

Standard payment terms are Prepay - Unless other terms have been agreed upon (pending credit approval)

All applicable taxes will be included on the invoice

We accept Visa, MasterCard and Amex.
A 2.5% processing fee will applied to all transactions over \$5,000

- tax

\$ 13,250

Accepted By

Accepted Date

Estimate

DRONENERDS

Drone Nerds Inc.
 5553 Anglers Ave.
 Suite #109
 Ft. Lauderdale FL 33312
 United States
 P: 786-708-7807
 www.DroneNerds.com

Order #	EST402680488
PO Ref.	
Order Date	7/16/2024
Customer	Newburgh Police Department
Currency	US Dollar

Contact:
 Newburgh Police Department
cstenglein@townofnewburghpd.org
 other:

Bill To:
 CONNER STENGLIN
 Newburgh Police Department
 300 Gardnertown Rd
 Newburgh NY 12550
 United States

Ship To:
 CONNER STENGLIN
 Newburgh Police Department
 300 Gardnertown Rd
 Newburgh NY 12550
 United States

Qty	Item / Description	Unit Price	Amount
1	M30TKIT-CAREBASIC DJI Matrice 30T M30T Complete Kit (2 TB30 Batteries, Care Basic) DJI Matrice 30T With Enterprise Basic Shield What's Included 1x DJI Matrice 30 2x TB30 Intelligent Flight Battery 1x BS30 Intelligent Battery Station 1x DJI RC Plus 1x DJI Pilot 2 1x Aircraft storage case 1x DJI FlightHub 2 (3 month subscription) 1x DJI Care Enterprise Basic (1 Year) Item ID:9532	9,637.00	9,637.00
4	CP.EN.00000369.02 DJI MATRICE 30 SERIES TB30 Intelligent Flight Battery DJI MATRICE 30 SERIES TB30 Intelligent Flight Battery Item ID:11065	329.00	1,316.00
1	CP.BX.000229 DJI CrystalSky WB37 Intelligent Battery DJI CrystalSky WB37 Intelligent Battery Item ID:11997	59.00	59.00
1	CZI-LP12 CZI LP12 Searchlight and Broadcasting System (DJI Matrice 30 series) CZI LP12 Searchlight and Broadcasting System Item ID:11044	1,875.00	1,875.00
1	GPC-DJI-M30 GPC DJI Matrice 30 Case GPC DJI Matrice 30 Case Item ID:13773	499.00	499.00
1	CP.RC.00000002.01 DJI RC Plus Strap Bracket Kit DJI RC Plus Strap Bracket Kit Item ID:9431	39.00	39.00

Estimate

DRONENERDS

Qty	Item / Description	Unit Price	Amount
9		Subtotal	13,425.00
		Discount Total	0.00
		S & H	0.00
		Total	13,425.00

Additional Details:

Drone Nerds adhere to all manufacturers pricing policies in order to maintain our authorized dealer status. As a result we are able to provide the highest level of manufacture authorized service and support.

#7A

TOWN OF NEWBURGH

AUDIT # 19

DATE: OCTOBER 15, 2024

TOTAL OF ALL PAYMENTS: \$ 2,352,277,88

To Mr. Gilbert Piaquadio and Town Board:

I certify that the invoices contained within this package of \$ 2,346,177.88 plus the paid prior audit of \$ 6,100.00 were audited by the Town Board on the above date and allowed in the amount shown above. You are authorized and directed to pay each of the claimants the amounts opposite their names.

Dated: October 16, 2024

Town Clerk Office

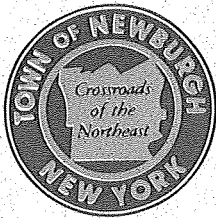
Town Board:

Town Board Meeting October 15, 2024

#7B
~~168~~

Review Status Report and Budget Status Report for September 2024

#7C



TOWN OF NEWBURGH

1496 Route 300, Newburgh, New York 12550


RONALD E. CLUM, CPA
ACCOUNTANT

845-564-5220

Fax: 845-566-9461

E-Mail: rclumaccountant@townofnewburgh.org

T0: G. PIAQUADIO, SUPERVISOR & TOWN BOARD

FROM: RONALD E CLUM 

DATE: SEPTEMBER 30, 2024

RE: 2025 PROPOSED RATES FOR LIGHTING DISTRICTS & ROAD IMPROV

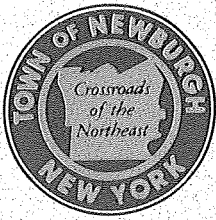
Based on the proposed 2025 budgets for the Town's Lighting and Road Improvement Districts, I am recommending the following charges for 2025.

LIGHTING DISTRICTS	PROPOSED 25 RATE per \$1,000 A.V	INCREASE/DECREASE
Consolidated LD	.6371	.14
Lakeside LD	.6351	.04
Fleetwood LD	1.2942	.13
W Orange Lake LD	1.2738	-.08
Colden Park LD	.7275	.10
ROAD IMPROVEMENT (AREA) DISTRICT	PROPOSED 25 RATE per UNIT	
Laurie Lane RIA	367.59	-41.22

If you have any questions, I am available to discuss them with you.

Cc: J Osborne, Town Engineer
P. Hines, MHE
J. Pedi, Tax Receiver
M Carhart, Assessor
M Taylor, Town Attorney

#7D



TOWN OF NEWBURGH

1496 Route 300, Newburgh, New York 12550

RONALD E. CLUM, CPA
ACCOUNTANT

845-564-5220

Fax: 845-566-9461

E-Mail: rclumaccountant@townofnewburgh.org

TO: G. PIAQUADIO, SUPERVISOR & TOWN BOARD

FROM: RONALD E CLUM

DATE: SEPTEMBER 30, 2024

RE: 2025 PROPOSED RATES FOR DRAINAGE DISTRICTS

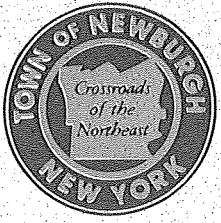
Based on the proposed 2025 budgets for the Town Drainage Districts, I am recommending the following charges for 2025.

DRAINAGE DISTRICT	PROPOSED 25 RATE	INCREASE/DECREASE
Amber Fields	0.00	0.00
Chesterfield Court	360.00	-90.00
Cox	152.31	13.85
Orchard Ridge	46.25	-1.25
Autumn Ridge	0.00	-14.29
Fini	545.00	325.00
Woodlawn Heights	0.00	0
Candlestick Hill	116.47	-15.00
Pinnacle	159.52	29.85
Mountain Lake	80.43	42.69
Margate Meadows	0.00	0.00
Blue Sky	718.18	388.18
Tarsio	287.50	87.50
Tarben	131.25	-18.75

If you have any questions, I am available to discuss them with you.

Cc: J Osborne, Town Engineer
P. Hines, MHE
J. Pedi, Tax Receiver
M Carhart, Assessor
M Taylor, Town Attorney

#1/E



TOWN OF NEWBURGH

1496 Route 300, Newburgh, New York 12550

RONALD E. CLUM, CPA
ACCOUNTANT

845-564-5220
Fax: 845-566-9461

E-Mail: rclumaccountant@townofnewburgh.org

To: Gil Piaquadio, Town Supervisor
Cc: Town Board
From: Ronald E. Clum, Town Accountant
Date: October 2, 2024
RE: Budget Adjustments

At the next Board meeting can you please approve the following budget transfers for me.

FROM ACCOUNT		TO ACCOUNT	
Account Description/ Account Name	Account Number/ Account Name		Dollar Amount
A.1990.5499 Contingency Account	A.1420.5403 Legal-Litigation Defense	\$	165,000.00
A.1990.5499 Contingency Account	A.1680.5497 Central EDP Maint Contracts	\$	40,000.00
G5009.8130.5473 Nob Hill-Repair to Treatment Plant	G5009.9902.5900 Transfers	\$	9,000.00
G5010.9040.5800 Crossroads-Workers Comp	G5010.9060.5800 Crossroads-Medical Insurance	\$	15,000.00
G5010.8130.5459 Crossroads-Chemicals	G5010.9060.5800 Crossroads-Medical Insurance	\$	3,000.00

#7F



Rider Weiner & Frankel P.C.
ATTORNEYS & COUNSELORS AT LAW

MEMORANDUM

TO: HON. GILBERT J. PIAQUADIO, SUPERVISOR
TOWN BOARD MEMBERS

FROM: MARK C. TAYLOR, ATTORNEY FOR THE TOWN

RE: 2025 SPECIAL DISTRICT ASSESSMENTS, ROLLS,
BENEFIT FORMULAS AND BUDGETS PUBLIC HEARING
OUR FILE NO. 800.1(B)(____)(2024)

DATE: OCTOBER 7, 2024

P: 845.562.9100
F: 845.562.9126

655 Little Britain Road
New Windsor, NY 12553

P.O. Box 2280
Newburgh, NY 12550

In accordance with Supervisor Piaquadio's request, enclosed please find the following draft resolution for the Town Board's consideration:

ATTORNEYS
David L. Rider
Charles E. Frankel
Michael J. Matsler
Mark C. Taylor
Deborah Weisman-Estis
M. Justin Rider

M. J. Rider
(1906-1968)
Elliott M. Weiner
(1915-1990)

COUNSEL
Stewart P. Glenn
Mary Fern Breheney
Stephen P. Duggan, III
John K. McGuirk
(1942-2018)

OF COUNSEL
Craig F. Simon

Resolution Calling Public Hearings; Re: Special District Budgets Assessments, Rolls and Benefit Formulas for the Year 2025

MCT:kac
Enc.

cc: Lisa M. Vance Ayers, Town Clerk (via e-mail)
Joseph P. Pedi, Receiver of Taxes (via e-mail)
Molly Carhart, Assessor (via e-mail)
Ronald Clum, Town Accountant (via e-mail)
James Osborne, P.E. (via e-mail)
Patrick Hines, Principal, McGoey, Hauser & Edsall (via e-mail)

At a meeting of the Town Board of the Town of Newburgh, held at the Town Hall, 1496 Route 300, in the Town of Newburgh, Orange County, New York on the 15th day of October, 2024 at 7:00 P.M., Prevailing Time.

PRESENT:

Gilbert J. Piaquadio, Supervisor

Paul I. Ruggiero, Councilman

Scott M. Manley, Councilman

Anthony R. LoBiondo, Councilman

RESOLUTION CALLING PUBLIC HEARINGS; RE: SPECIAL DISTRICT BUDGETS ASSESSMENTS, ROLLS AND BENEFIT FORMULAS FOR THE YEAR 2025

Councilman _____ presented the following resolution which was seconded by Councilman _____.

WHEREAS, the Town Board of the Town of Newburgh has met and considered the establishment or rates and benefit units for each of the Town's special districts and special improvement areas; and

WHEREAS, the Town Board of the Town of Newburgh desires to set a date for the Public Hearing on the Budgets, Assessments and Benefit Formulas for all special districts and special improvement areas of the Town of Newburgh for the fiscal year beginning January 1, 2025 to be held on October 28, 2024 at 7:15 p.m.

WHEREAS, the Assessment Rolls have been filed in the Office of the Town Clerk of the Town of Newburgh.

NOW, THEREFORE, BE IT RESOLVED as follows:

1. That in accordance with the Sections 202-a and 239 of the Town Law, the Town Board of the Town of Newburgh shall meet on October 28, 2024 at 7:15 p.m. at the Town Hall, 1496 Route 300, Newburgh, New York and then and there hold a Public Hearing on the following special districts and special improvement area Budgets, Assessment Rolls and Benefit Formulas, each to be heard separately in the order as listed:

Colden Park Lighting District, Consolidated Lighting District, Fleetwood Lighting District, Lakeside Road Lighting District, Orange Lake Lighting District, Consolidated Water #1, Consolidated Water #2, (inclusive of Consolidated, Colden Park and Fleetwood-Holiday Park Water Districts as applicable), Lateral N Water (Thornwood), Stewart ANG Base Water, Crossroads Consolidated Sewer District (inclusive of the prior Gidney, Meadow Hill North, Meadow Hill South, Algonquin,

Crossroads, Fleetwood–Holiday Park, 17K-UA and Wintergreen Sewer District areas within the Crossroads Consolidated District), Nob Hill Sewer District, Roseton Hills Sewer District, Amber Fields Drainage District, Blue Sky Drainage District, Cox Drainage District, Stonewall Estates Drainage District, Fini Subdivision Drainage District, Candlestick Hill Drainage District, Woodlawn Heights Drainage District, Orchard Ridge Drainage District, Margate Meadows Drainage District, Autumn Ridge Drainage District, Mountain Lake Drainage District, Pinnacle Subdivision Drainage District, Chesterfield Court Drainage District, Tarben Drainage District, Tarsio Drainage District, Longview Farm Subdivision Drainage District, Laurie Lane Highway Improvement Area and Town of Newburgh Ambulance District.

- 2. The Town Clerk of the Town of Newburgh shall give Notice of such Public Hearing by Publishing Notice thereof in a newspaper published within the Town of Newburgh not less than ten (10) days nor more than twenty (20) days prior to October 23, 2023, and cause a copy of such notice to be posted on the sign board of the Town of Newburgh not later than ten (10) days before October 28, 2024, and notices shall be mailed as required.
- 3. This resolution shall take effect immediately.

The question of the adoption of the foregoing resolution was duly put to a vote on roll call, which resulted as follows:

<u>Paul I. Ruggiero, Councilman</u>	<u>voting</u>
<u>Scott M. Manley, Councilman</u>	<u>voting</u>
<u>Anthony R. LoBiondo, Councilman</u>	<u>voting</u>
<u>Gilbert J. Piaquadio, Supervisor</u>	<u>voting</u>

The resolution was thereupon declared duly adopted.

I, Lisa M. Vance Ayers, the duly elected and qualified Town Clerk of the Town of Newburgh, New York, do hereby certify that the following resolution was adopted at a regular meeting of the Town Board held on the 15th day of October, 2024 and is on file and of record and that said resolution has not been altered, amended or revoked and is in full force and effect.

Lisa M. Vance Ayers, Town Clerk
Town of Newburgh

#76



Rider Weiner & Frankel P.C.
ATTORNEYS & COUNSELORS AT LAW

MEMORANDUM

P: 845.562.9100
F: 845.562.9126

655 Little Britain Road
New Windsor, NY 12553

P.O. Box 2280
Newburgh, NY 12550

ATTORNEYS

David L. Rider
Charles E. Frankel
Michael J. Matsler
Mark C. Taylor
Deborah Weisman-Estis
M. Justin Rider

M. J. Rider
(1906-1968)
Elliott M. Weiner
(1915-1990)

COUNSEL

Stewart P. Glenn
Mary Fern Breheney
Stephen P. Duggan, III
John K. McGuirk
(1942-2018)

OF COUNSEL

Craig F. Simon

TO: HON. GILBERT J. PIAQUADIO, SUPERVISOR
TOWN BOARD MEMBERS

FROM: MARK C. TAYLOR, ATTORNEY FOR THE TOWN

RE: 2025 TOWN BUDGET PUBLIC HEARING
OUR FILE NO. 800.1(B)() (2024)

DATE: OCTOBER 7, 2024

In accordance with Supervisor Piaquadio's request, enclosed please find the following draft resolution for the Town Board's consideration:

Resolution Calling Public Hearing on Preliminary 2025 Town of Newburgh Budget

The suggested date of the public hearing is October 28, 2024.

MCT:kac

Enc.

cc: Lisa M. Vance Ayers, Town Clerk (via e-mail)
Joseph P. Pedi, Receiver of Taxes (via e-mail)
Ronald Clum, Town Accountant (via e-mail)
Bruce Campbell, Chief of Police (via e-mail)
Mark Hall, Highway Superintendent (via e-mail)
James Presutti, Commissioner (via e-mail)
James Osborne, P.E. (via e-mail)
Patrick Hines, Principal, MHE Engineering (via e-mail)

At a meeting of the Town Board of the Town of Newburgh, held at the Town Hall, 1496 Route 300, in the Town of Newburgh, Orange County, New York on the 15th day of October, 2024 at 7:00 P.M., Prevailing Time.

PRESENT:

Gilbert J. Piaquadio, Supervisor

Paul I. Ruggiero, Councilman

Scott M. Manley, Councilman

Anthony R. LoBiondo, Councilman

RESOLUTION CALLING PUBLIC HEARING ON PRELIMINARY 2025 TOWN OF NEWBURGH BUDGET

Councilman _____ presented the following resolution which was seconded by Councilman _____.

WHEREAS, the Town Board of the Town of Newburgh has met and considered the tentative and preliminary budget for the fiscal year beginning January 1, 2025; and

WHEREAS, the Town Board of the Town of Newburgh desires to schedule a date and time for the Public Hearing to be held on October 28, 2024 at 7:00 p.m.; and

WHEREAS, the preliminary budget must be filed in the Office of the Town Clerk of the Town of Newburgh at the time of publication of the Notice of Public Hearing;

NOW, THEREFORE, BE IT RESOLVED as follows:

1. That in accordance with the provisions of §106 of the Town Law and other applicable provisions of Law, the preliminary budget for the fiscal year beginning January 1, 2025 shall be filed in the office of the Clerk of the Town of Newburgh where it shall be available for public inspection at or before the time of publication of the Notice of Public Hearing.
2. The Town Clerk of the Town of Newburgh shall give Notice of such Public Hearing to be held on October 28, 2024 at 7:00 p.m. by publishing notice thereof in the official newspaper of the Town of Newburgh not less than five (5) days prior to October 28, 2024, and cause a copy of such notice to be posted on the sign board of the Town of Newburgh not later than five (5) days before October 28, 2024.
3. This resolution shall take effect immediately.

The question of the adoption of the foregoing resolution was duly put to a vote on roll call,
which resulted as follows:

Paul I. Ruggiero, Councilman voting _____

Scott M. Manley, Councilman voting _____

Anthony R. LoBiondo, Councilman voting _____

Gilbert J. Piaquadio, Supervisor voting _____

The resolution was thereupon declared duly adopted.

I, Lisa M. Vance Ayers, the duly elected and qualified Town Clerk of the Town of Newburgh, New York, do hereby certify that the following resolution was adopted at a regular meeting of the Town Board held on October 15, 2024 and is on file and of record and that said resolution has not been altered, amended or revoked and is in full force and effect.

Lisa M. Vance Ayers, Town Clerk
Town of Newburgh

#8



TOWN OF NEWBURGH

1496 Route 300, Newburgh, New York 12550

JOSEPH P. PEDI
Receiver of Taxes
and Assessments

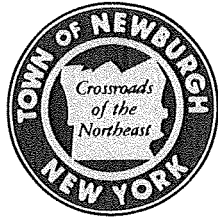
845-564-4553
Fax: 845-566-1432
e-mail: receiveroftaxes@townofnewburgh.org

Date: October 7, 2024
To: Town Board
From: Joseph P. PEDI, Receiver of Taxes
Subject: Relevy Unpaid Sewer Bond

Attached are the delinquent Sewer Bond Accounts in the Town of Newburgh from July 1, 2023 through June 30, 2024. Accounts are to be transferred to the County and Town Roll. A Resolution requesting the Orange County Legislature to authorize the procedure will be forwarded after Town Board approval is received. The total to be relevied is \$7,420.42. The following breakdown applies:

	District #	
Crossroads	51,52,58,63,64,65,66.	\$0.00
Gidney	53,54 & 60	\$0.00
Meadow Hill No	55	\$0.00
Meadow Hill So	56	\$7,420.42
Rt 17K/UA	57	\$0.00
Fleetwood	59	\$0.00
Total		\$7,420.42

#9A Lisa



TOWN OF NEWBURGH

1496 ROUTE 300, NEWBURGH, NEW YORK 12550

Molly A. Carhart
Sole Assessor

845-564-4550
Assessor@TownOfNewburgh.org

To: Supervisor Gil Piaquadio
Town Board

From: Molly Carhart, Assessor

Date: October 2, 2024

Re: Part Time Assessor's Clerk

This is a request for approval to start the process of hiring a part time clerk for the Assessor's Office.

This position will need to be posted internally then advertised on our website if we have no in-house applicants.

Thank you in advance.

Molly

#9B



Rider Weiner & Frankel P.C.
ATTORNEYS & COUNSELORS AT LAW

Attorney-Client privileged
MEMORANDUM

TO: HON. GILBERT J. PIAQUADIO, SUPERVISOR
TOWN BOARD MEMBERS

FROM: MARK C. TAYLOR, ATTORNEY FOR THE TOWN

RE: SETTLEMENT OF TAX CERTIORARI (2019, 2020, 2021,
2022 AND 2023);
RHINEBECK REALTY, LLC (1423 ROUTE 300)
OUR FILE NO. 800.24

DATE: OCTOBER 7, 2024

P: 845.562.9100
F: 845.562.9126
655 Little Britain Road
New Windsor, NY 12553
P.O. Box 2280
Newburgh, NY 12550

ATTORNEYS

David L. Rider
Charles E. Frankel
Michael J. Matsler
Mark C. Taylor
Deborah Weisman-Estis
M. Justin Rider

M. J. Rider
(1906-1968)
Elliott M. Weiner
(1915-1990)

COUNSEL

Stewart P. Glenn
Mary Fern Breheny
Stephen P. Duggan, III
John K. McGuirk
(1942-2018)

OF COUNSEL

Craig F. Simon

Enclosed are copies of a letter from Cathy Drobny, Esq. of Hacker Murphy regarding the above referenced proposed settlement, a proposed Consent Judgment and charts showing the claimed refund liability and the approximate refunds that will be due from the taxing jurisdictions under the proposed settlement of the above referenced real property tax assessment appeal. Also enclosed is a map showing the location of the tax parcel which is the subject of the proceedings which contains three retail/service buildings currently occupied by Mavis, Buffalo Wild Wings and Aspen Dental and related improvements.

The settlement provides for no reduction for the subject parcel for the 2019, 2020 and 2021 proceedings. The settlement further provides for reductions in Assessed Value for 2022 of \$132,000 from \$1,120,00 to \$988,000, and for 2023 and 2024 of \$213,220 from \$1,120,000 to \$906,780. The 2024 Assessed Value will hold for 2025, 2026 and 2027 pursuant to the provisions of RPTL Section 727,, subject to the statutory exceptions.

The charts indicates that the refund liability for the Town (including Highway but not including special districts and the Fire District) will be approximately \$5,387.65 versus claimed refund liability of approximately \$63,580.93.72. The Orange Lake Fire District's refund liability under the settlement will be approximately \$1,494.52. The Newburgh Enlarged City School District's refund liability will be substantially more.

Also attached is a proposed resolution which would authorize the Settlement.

MCT/sel
Enc.

cc: Lisa M. Vance Ayers, Town Clerk
Molly Carhart, Assessor (via e-mail)
Joseph P. Pedi, Receiver of Taxes (via e-mail)
Ronald Clum, Town Accountant (via e-mail)
Cathy L. Drobny, Esq. (via e-mail)



HACKER MURPHY

VIA E-MAIL - mtaylor@riderweiner.com

Mark C. Taylor, Esq.
Rider, Weiner & Frankel P.C.
P.O. Box 2280
Newburgh, New York 12550

September 10, 2024

Please send all mail to:
SCHENECTADY OFFICE

28 Second Street
Troy, NY 12180
518-274-5820 - Main

200 Harborside Drive
Suite 300
Schenectady, NY 12305

511 Broadway
Saratoga Springs, NY 12866

RE: Rhinebeck Realty LLC v. Town of Newburgh
Index Nos. EF005794-2019, EF003833-2020, EF005235-2021,
EF004208-2022, EF005019-2023, EF006121-2024
Our File No. 5018.169

41 State Street
Suite 604-05
Albany, NY 12207

Fax | 518-274-5875

Dear Mark:

hackermurphy.com

Attached please find the proposed Consent Judgment relative to the above-referenced proceedings. There are currently six years pending (2019-2024). The subject parcel is a three-tenant retail center located at 1413 Route 300 (Tax Map #60-3-40.2) with total rentable sq. footage of +/-18,100 sq. ft. The FMV is \$3,478,261 (2019), \$3,739,566 (2020), \$3,964,602 (2021), \$4,534,413 (2022) and \$5,187,587 (2023) (assessed value \$1,200,000 for all years). After reviewing the income and expense statements, rent rolls, leases and restricted appraisal, this settlement was negotiated.

The proposed settlement discontinues the 2019, 2020 and 2021 proceedings and reduces the 2022 assessment of the subject property to a FMV of \$4,000,000 (AV \$988,000), and 2023 assessment to a FMV of \$4,200,000 (AV \$906,780). The petitioner filed a Petition for 2024 during negotiations; the assessment will be reduced to a FMV of \$4,401,845 (AV \$906,780). The 2024 assessed value, as reduced, will be held for 2025, 2026 and 2027 pursuant to RPTL §727, subject to the usual statutory exceptions. After reviewing all the documents supplied and considering the costs of trial-ready appraisals and litigation, we feel that this is a good settlement.

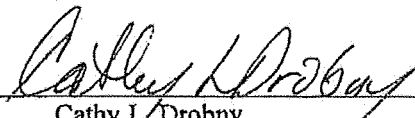
I have attached for your review a copy of the refund liability charts for 2019 through 2023, which show the potential liability versus the proposed settlement refund liability.

We recommend that the Town Board authorize us to enter into this settlement as proposed. Please place this matter on the agenda for the next Newburgh Town Board meeting for approval. Once the Resolution passes, please let me know and I will sign the Consent Judgment.

Please do not hesitate to contact me if you have any questions.

Very truly yours,

HACKER MURPHY LLP

By: 
Cathy L. Drobny
cdrobny@hackermurphy.com
Direct Dial: (518) 213-0116

CLD:kah

Attachments

cc: Molly Carhart, Assessor
Gilbert Piaquadio, Supervisor

At an IAS Part of the Supreme Court of the State of New York held for the County of Orange, at the Orange County Courthouse, Goshen, New York on the _____ day of _____, 2024.

PRESENT:

HON. E. LOREN WILLIAMS,
Justice

-----X

In the Matter of the Application of
RHINEBECK REALTY LLC,
Joseph E. St. Onge, Esq., Agent,
Petitioners,

- against -

TOWN OF NEWBURGH, a Municipal Corporation, its Assessor or Board of Assessors and Board of Review,

Respondents,

- and -

NEWBURGH ENLARGED CITY SCHOOL DISTRICT,

Intervenor-Respondent.

For a review under Article 7 of the Real Property Tax Law, etc.

-----X

CONSENT JUDGMENT

Index No. EF005794-2019
EF003833-2020
EF005235-2021
EF004208-2022
EF005018-2023
EF006121-2024

The above Petitioners having heretofore served and filed the Petitions and Notices to review the tax assessments fixed by the Town of Newburgh for the assessment years 2019, 2020, 2021, 2022, 2023 and 2024 upon certain real property located at 1413 Route 300, Town of Newburgh, and designated as Section 60, Block 3, Lot 40.2 on the Official Tax Map of the Town of Newburgh, Orange County, New York, and

The issues of these proceedings having duly come on for trial at an Tax Certiorari Term of this Court, and the Petitioners having appeared by Joseph E. St. Onge, Esq., their attorney, and the respondents having appeared by HACKER MURPHY LLP, Special

Counsel for the Town of Newburgh, CATHY L. DROBNY, ESQ., of Counsel, and the Intervenor-Respondent having appeared by SHAW, PERELSON, MAY & LAMBERT, LLP, their attorneys, IRA S. LEVY, ESQ., of counsel, and the parties having made their settlement, it is

ORDERED, that the tax assessments of the property of Petitioners designated as tax parcel Section 60, Block 3, Lot 40.2 be and the same are hereby confirmed, reduced, corrected and fixed as follows:

<u>Assessment Year</u>	<u>Tax Year</u>	<u>Reduced From</u>	<u>Reduced To</u>	<u>Reduction</u>
2019	2020	1,120,000	1,120,000	None
2020	2021	1,120,000	1,120,000	None
2021	2022	1,120,000	1,120,000	None
2022	2023	1,120,000	988,000	132,000
2023	2024	1,120,000	906,780	213,220
2024	2025	1,120,000	906,780	213,220

and so reduced and confirmed, it is further

ORDERED, ADJUDGED AND DECREED, that the officer or officers having custody of the assessment rolls upon which the above-mentioned assessments and any taxes levied thereon are entered shall correct the said entries in conformity with this order, and shall note upon the margin of said rolls, opposite of said entries, that the same have been corrected by the authority of this order, and it is further

ORDERED AND DIRECTED that the Town of Newburgh and/or the County of Orange, State of New York, be and is hereby directed and authorized, to audit, allow and

pay to the Petitioners on any assessment reduction the amounts, if any, of State, County, Town, Judiciary, Fire, Water, Refuse, Sewer, Ambulance and all other ad valorem taxes, together with proportionate share of any interest or penalty paid by reason of delinquent payment of said excess taxes paid by the Petitioners as taxes against the erroneous assessments in excess of what the taxes should have been if the said assessments had been determined by this Order, with interest thereon from the date of payment thereof as provided by Section 726 of the Real Property Tax Law of the State of New York, and it is further

ORDERED AND DIRECTED that the Trustees of the Newburgh Enlarged City School District, unless sooner paid, at the next budget or other appropriate meeting following the entry of this Order, shall audit, allow and pay to the Petitioners that part of the taxes representing school taxes and library taxes which is in excess of what such taxes would have been if the assessments complained of had been as herein ordered and determined, together with interest, thereon from the date of payment thereof as provided by statute, and it is further

ORDERED, ADJUDGED AND DECREED, that all tax refunds are to be paid with interest pursuant to Section 726 of the Real Property Tax Law of the State of New York; provided, however, interest shall be waived in the event that the refunds are paid within sixty (60) days from the date of service of this Order with notice of entry upon the respective taxing authorities, and it is further

ORDERED AND DIRECTED that all tax refunds hereinabove directed to be made by the County of Orange, and/or any of the various taxing authorities, be made by check or draft payable to the order of JOSEPH E. ST. ONGE, ESQ., as attorney and agent for the Petitioners, who is to hold the proceeds as trust funds for appropriate distribution, and who is to remain subject to the further jurisdiction of this Court in regard to his attorney's lien, pursuant to Judiciary Law Section 475, and it is further

ORDERED, that this Order hereby constitutes and represents full settlement of the tax review proceedings herein, and there are no costs or disbursements awarded to, by or against any of the parties, and that upon compliance with the terms of this order, the above-entitled proceedings be and the same are settled and discontinued.

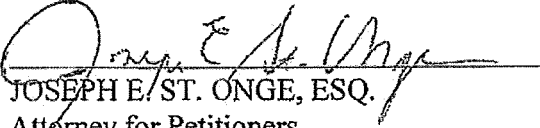
ENTER,

HON. E. LOREN WILLIAMS, J.S.C.

SIGNING AND ENTRY OF THE WITHIN ORDER IS HEREBY CONSENTED TO:

CATHY L. DROBNY, ESQ.
Hacker Murphy, LLP
Attorneys for Respondents
200 Harborside Drive, #300
Schenectady, New York 12305
cdrobny@hackermurphy.com

SHAW, PERELSON, MAY & LAMBERT, LLP
Attorney for Intervenor-Respondent
115 Stevens Avenue
Valhalla, New York 10595
ilevy@shawperelson.com


JOSEPH E. ST. ONGE, ESQ.
Attorney for Petitioners
670 White Plains Road
Scarsdale, New York 10583
jes@jstongelaw.com

Rhineback Realty LLC v. Town of Newburgh

Year	Parcel Number	Assessed Value	Claimed Assessed Value	Eq. Rate	FMV	Claimed FMV	Difference AV and Claimed AV	Tax Rate		Refund Liability
2019	60-3-40.2	\$1,120,000	\$300,000	32.20%	\$3,478,261	\$931,677	\$820,000	County	11.5799	\$ 9,495.52
								Town	9.656	\$ 7,917.02
								Highway	5.4916	\$ 4,503.11
								Orange Lk fire	4.1105	\$ 3,370.61
								Consol It	0.3605	\$ 295.61
								Consol wtr 1	1.4814	\$ 1,198.35
								Consol wtr 2	2.5223	\$ 2,088.29
								School	72.71954	\$ 59,630.02
								Library	3.438755	\$ 2,819.78
								2020	60-3-40.2	\$1,120,000
Town	10.8692	\$ 8,912.74								
Highway	4.7485	\$ 3,893.77								
Orange Lk fire	4.114	\$ 3,373.48								
Consol It	0.3617	\$ 296.59								
Consol wtr 1	1.4541	\$ 1,200.56								
Consol wtr 2	2.5209	\$ 2,067.14								
School	71.885193	\$ 58,945.66								
Library	3.542079	\$ 2,904.50								
2021	60-3-40.2	\$1,120,000	\$300,000	28.25%	\$3,964,602	\$1,061,947	\$820,000			
								Town	10.8445	\$ 8,892.49
								Highway	4.7344	\$ 3,882.21
								Orange Lk fire	4.2357	\$ 3,473.27
								Consol It	0.3629	\$ 297.58
								Consol wtr 1	1.4827	\$ 1,199.41
								Consol wtr 2	2.5292	\$ 2,073.94
								School	71.47931	\$ 58,608.11
								Library	3.521783	\$ 2,887.86
								2022	60-3-40.2	\$1,120,000
Town	10.8134	\$ 8,948.99								
Highway	4.6423	\$ 3,808.69								
Ambulance	0.4071	\$ 333.82								
Orange Lk fire	4.3051	\$ 3,530.18								
Consol It	0.4765	\$ 390.73								
Consol wtr 1	1.4803	\$ 1,197.45								
Consol wtr 2	2.5304	\$ 2,074.63								
School	71.391298	\$ 58,540.86								
Library	3.588386	\$ 2,943.30								
County	10.653823	\$ 8,739.13								
Town	10.63692	\$ 8,722.27								
Highway	5.000899	\$ 4,100.74								
Ambulance	0.41	\$ 336.20								
Orange Lk fire	4.344091	\$ 3,582.15								
Consol It	0.495289	\$ 406.14								
Consol wtr 1	1.539877	\$ 1,262.70								
Consol wtr 2	2.659769	\$ 2,181.01								
School	68.550183	\$ 56,211.15								
Library	3.543244	\$ 2,905.46								
								County	\$	47,005.29
								Town	\$	43,394.42
								Highway	\$	20,185.61
								Ambulance	\$	670.02
								Orange Lk Fire	\$	17,309.70
								Consol Lt	\$	1,886.65
								Consol Wtr 1	\$	4,395.19
								Consol Wtr 2	\$	10,465.31
								School	\$	291,936.01
								Library	\$	14,480.90
								Total	\$	451,510.00

Rhineback Realty LLC v. Town of Newburgh - Settlement

Year	Parcel Number	Assessed Value	Reduced Assessed Value	Eq. Rate	FMV	Reduced FMV	Difference AV and Revised AV	Tax Rate	Refund Liability	
2019	60-3-40.2	\$1,120,000	\$1,120,000	32.20%	\$3,478,261	\$3,478,261	\$0	County	11.5799 \$	-
								Town	8.6561 \$	-
								Highway	5.49161 \$	-
								Orange lk fire	4.11051 \$	-
								Consol lt	0.36051 \$	-
								Consol wtr 1	1.4614 \$	-
								Consol wtr 2	2.5223 \$	-
								School	72.71954 \$	-
								Library	3.4387551 \$	-
								2020	60-3-40.2	\$1,120,000
Town	10.8692 \$	-								
Highway	4.7485 \$	-								
Orange lk fire	4.114 \$	-								
Consol lt	0.3617 \$	-								
Consol wtr 1	1.4641 \$	-								
Consol wtr 2	2.5209 \$	-								
School	71.885193 \$	-								
Library	3.6420791 \$	-								
2021	60-3-40.2	\$1,120,000	\$1,120,000	28.25%	\$3,984,602	\$3,984,602	\$0			
								Town	10.8445 \$	-
								Highway	4.7344 \$	-
								Orange lk fire	4.2357 \$	-
								Consol lt	0.3629 \$	-
								Consol wtr 1	1.4627 \$	-
								Consol wtr 2	2.5292 \$	-
								School	71.47331 \$	-
								Library	3.521783 \$	-
								2022	60-3-40.2	\$1,120,000
Town	10.9134 \$	1,440.57								
Highway	4.6423 \$	612.78								
Ambulance	0.4071 \$	53.74								
Orange lk fire	4.3051 \$	568.27								
Consol lt	0.4765 \$	62.90								
Consol wtr 1	1.4603 \$	192.78								
Consol wtr 2	2.5304 \$	334.01								
School	71.391298 \$	9,423.65								
Library	3.589386 \$	473.80								
County	10.653823 \$	2,271.61								
Town	10.83692 \$	2,288.00								
Highway	5.000899 \$	1,066.29								
Ambulance	0.411 \$	87.42								
Orange lk fire	4.344091 \$	928.25								
Consol lt	0.485289 \$	105.61								
Consol wtr 1	1.539877 \$	328.33								
Consol wtr 2	2.659769 \$	567.12								
School	88.550183 \$	14,619.27								
Library	3.543244 \$	755.49								
2023	60-3-40.2	\$1,120,000	\$906,780	21.59%	\$5,187,587	\$4,200,000	\$213,220	County	\$	3,735.71
								Town	\$	3,708.67
								Highway	\$	1,679.08
								Ambulance	\$	141.16
								Orange Lk Fire	\$	1,484.52
								Consol Lt	\$	168.50
								Consol Wtr 1	\$	168.50
								Consol Wtr 2	\$	901.13
								School	\$	24,039.92
								Library	\$	1,229.29
								County	\$	3,735.71
								Town	\$	3,708.67
								Highway	\$	1,679.08
Ambulance	\$	141.16								
Orange Lk Fire	\$	1,484.52								
Consol Lt	\$	168.50								
Consol Wtr 1	\$	168.50								
Consol Wtr 2	\$	901.13								
School	\$	24,039.92								
Library	\$	1,229.29								
Total									\$	37,256.38



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- Owner/Sales
- Inventory
- Improvements

Tax Info


Report

Comparables

Municipality of Newburgh					
SWIS:	334600	Tax ID:	60-3-40.2		
Tax Map ID / Property Data					
Status:	Active	Roll Section:	Taxable		
Address:	1413 Route 300				
Property Class:	450 - Retail srvc	Site Property Class:	450 - Retail srvc		
Ownership Code:					
Site:	Com 1	In Ag. District:	No		
Zoning Code:	-	Bldg. Style:	Not Applicable		
Neighborhood:	41126 -	School District:	Newburg		
Property Description:	Combined 60-3-40 & 60-3-41.22				
Total Acreage/Size:	3.00	Equalization Rate:	---		
Land Assessment:	2024 - \$385,000	Total Assessment:	2024 - \$1,120,000		
Full Market Value:	2024 - \$5,436,893				
Deed Book:	13067	Deed Page:	507		
Grid East:	609605	Grid North:	978975		
Bank Code:	N/A				
Special Districts for 2024					
	Description	Units	Percent	Type	Value
	AM010-Newburgh Ambulance	0	0%		0
	FD030-Orange lk fire	0	0%		0
	LT004-Consol It	0	0%		0
	WD001-Consol wtr 1	0	0%		0
	WD002-Consol wtr 2	0	0%		0
Land Types					
	Type	Size			
	Primary	3.00 acres			

Photographs

(Click on photo to enlarge it.)



Photo

Photo 2of 13

← →

Documents

No documents found for this parcel

Maps

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View in Near Map

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[Comparables](#)

Municipality of Newburgh

SWIS:	334600	Tax ID:	60-3-40.2
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Ownership Information

Name	Secondary Name	Address
JR & Ray LLC	Rhinebeck Realty LLC	% BJ Adams Real Estate Mgmt. P.O. Box 752 Harrison NY 10528

Sale Information

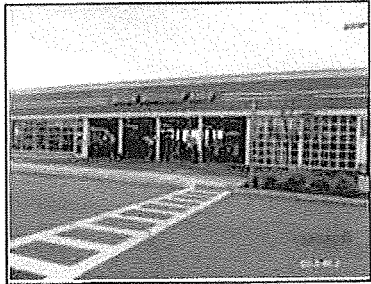
No Sales Information Available

Historic Deed Information

Book	Page	Prior Printkey
13067	507	
		60-3-40
12736	1594	
2328	00166	

Photographs

(Click on photo to enlarge it.)



Photo

Photo 1 of 13 →

Documents

No documents found for this parcel

Maps

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Photo
Photo 5 of 13

Photo for 60-3-40.2 in Newburgh



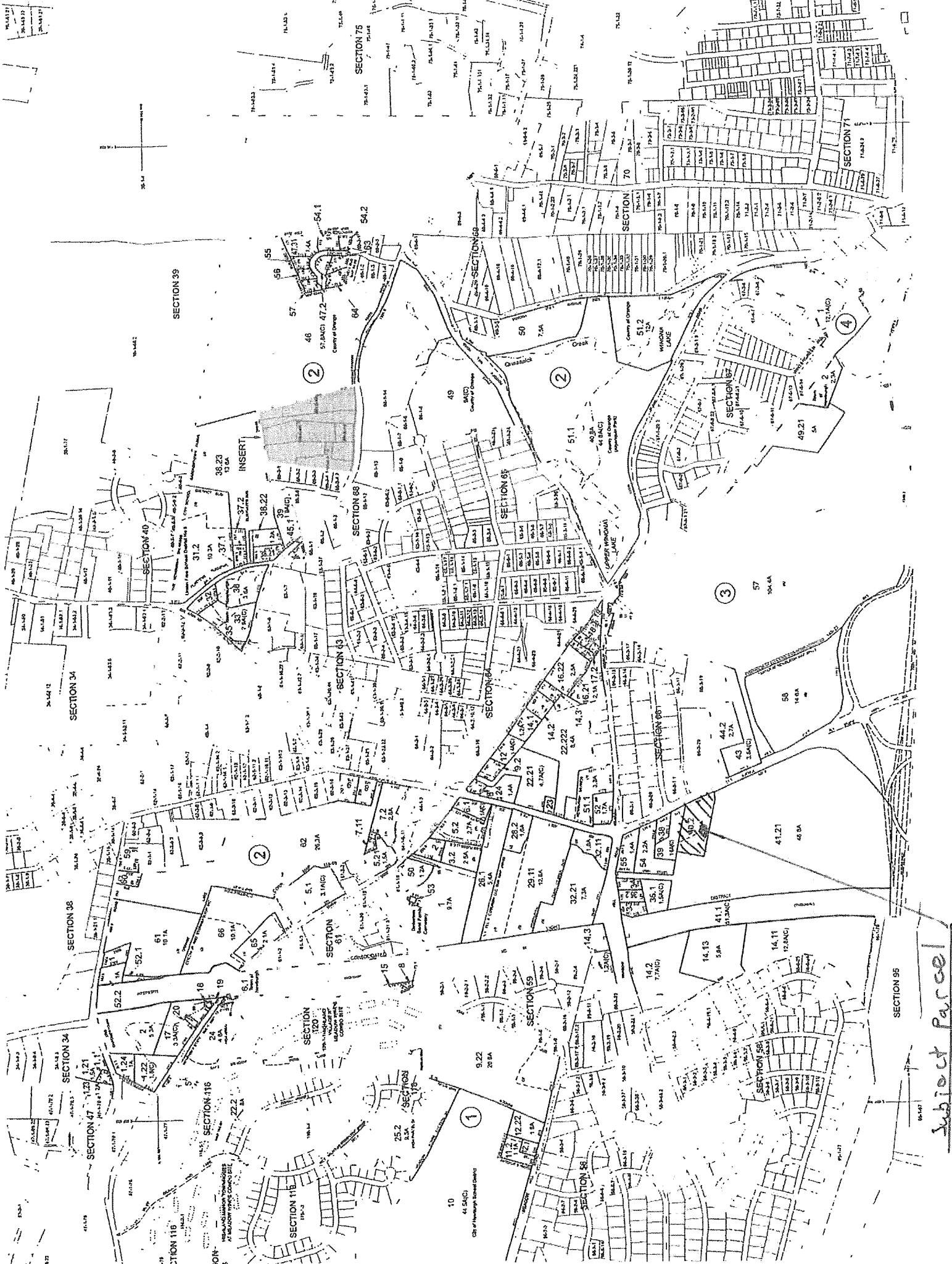
Photo
Photo 3 of 13

Photo for 60-3-40.2 in Newburgh



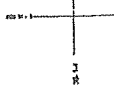
Photo
Photo 1 of 13

Photo for 60-3-40.2 in Newburgh



Subject Parcel

34.121	34.122	34.123
34.124	34.125	34.126
34.127	34.128	34.129



City of Chicago
 44 (SAC)
 City of Chicago Record Drawing

At a meeting of the Town Board of the Town of Newburgh, held at the Town Hall, 1496 Route 300, in the Town of Newburgh, Orange County, New York on the ___th day of October, 2024 at 7:00 o'clock p.m.

PRESENT:

Gilbert J. Piaquadio, Supervisor

Paul I. Ruggiero, Councilman

Scott M. Manley, Councilman

Anthony R. LoBiondo, Councilman

RESOLUTION OF TOWN BOARD
AUTHORIZING SETTLEMENT OF
PROCEEDINGS UNDER ARTICLE
7 OF THE REAL PROPERTY
TAX LAW:
SBL #60-3- 40.2
RHINEBECK REALTY, LLC
(1413 ROUTE 300)
INDEX NUMBER 2019-EF005794, 2020-
EF003833, 2021-EF005235,
2022-EF004208, 2023-EF005018 AND
2024-EF006121

Councilman _____ presented the following resolution which was seconded by Councilman _____.

WHEREAS, Rhinebeck Realty, LLC (the "Petitioner") has instituted proceedings under Article 7 of the Real Property Tax Law by which Petitioner seeks to obtain judicial review and reduction of the assessment of real property in the Town of Newburgh, Orange County, New York, consisting of three buildings containing retail and service premises and related improvements located on a parcel of land at 1413 Route 300, Section 60-Block 3-Lot 40.2 on the tax assessment rolls for the tax years 2019, 2020, 2021, 2022 and 2023; and

WHEREAS, special counsel to the Town, Hacker Murphy, LLP, has negotiated a settlement of the proceeding with the Petitioner, the terms of which are embodied in a proposed Consent Judgment annexed hereto and recommended that the Town Board authorize the settlement; and

WHEREAS, after review and discussion, the Town Board has determined it to be in the best interests of the Town to authorize the settlement.

NOW, THEREFORE, BE IT RESOLVED that the Town Board hereby authorizes and directs Hacker Murphy, LLP to execute and deliver the Stipulation of Settlement on behalf of the Town; and

BE IT FURTHER RESOLVED, that Hacker Murphy, LLP, the Supervisor, the Attorney for the Town, the Town's Assessor and other officers of the Town are hereby authorized to take such actions and to make, execute and deliver, or cause to be made, executed and delivered, in the name of and on behalf of the Town, all such certificates, documents and papers as may be necessary to effectuate and carry out the settlement; and

BE IT FURTHER RESOLVED that the aforesaid resolutions shall take effect immediately.

The question of the adoption of the foregoing resolution was duly put to a vote on roll call which resulted as follows:

Paul I. Ruggiero, Councilman voting _____

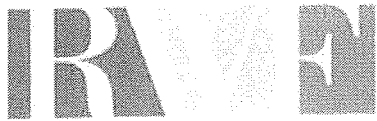
Scott M. Manley, Councilman voting _____

Anthony R. LoBiondo, Councilman voting _____

Gilbert J. Piaquadio, Supervisor voting _____

The resolution was thereupon declared duly adopted.

#10



Rider Weiner & Frankel P.C.
ATTORNEYS & COUNSELORS AT LAW

MEMORANDUM

P: 845.562.9100
F: 845.562.9126

655 Little Britain Road
New Windsor, NY 12553
P.O. Box 2280
Newburgh, NY 12550

ATTORNEYS
David L. Rider
Charles E. Frankel
Michael J. Matsler
Mark C. Taylor
Deborah Weisman-Estis
M. Justin Rider

M. J. Rider
(1906-1968)
Elliott M. Weiner
(1915-1990)

COUNSEL
Stewart P. Glenn
Mary Fern Brehoney
Stephen P. Duggan, III
John K. McGuirk
(1942-2018)

OF COUNSEL
Craig F. Simon

TO: HON. GILBERT J. PIAQUADIO, SUPERVISOR
TOWN BOARD MEMBERS
FROM: MARK C. TAYLOR, ATTORNEY FOR THE TOWN
RE: JCAP GRANT RESOLUTION;
OUR FILE NO. 800.1(B)() (2024)
DATE: October 7, 2024

Enclosed for the Town Board's consideration at its October 15, 2024 meeting is the following draft resolution with the specific language which the Justice Court has advised that the Office of Court Administration requires:

RESOLUTION OF SUPPORT TO CERTAIN INITIATIVES OF THE JUSTICE COURT OF THE TOWN OF NEWBURGH IN SUBMITTING AN APPLICATION FOR THE 2024-25 JUSTICE COURT ASSISTANCE PROGRAM (JCAP)

Should you have any questions in this regard, please feel free to contact me.

MCT:kac
Enclosure
cc: Lisa M. Vance Ayers, Town Clerk (via e-mail)
Ronald Clum, Town Accountant (via e-mail)
Abigail Puntar, Chief Clerk to Justice Clarino (via e-mail)

DRAFT

At a meeting of the Town Board of the Town of Newburgh, held at the Town Hall, 1496 Route 300, in the Town of Newburgh, Orange County, New York on the 15th day of October, 2024 at 7:00 P.M., Prevaling Time.

PRESENT:

- Gilbert J. Piaquadio, Supervisor
- Paul I. Ruggiero, Councilman
- Scott M. Manley, Councilman
- Anthony R. LoBiondo, Councilman

RESOLUTION OF SUPPORT TO CERTAIN INITIATIVES OF THE JUSTICE COURT OF THE TOWN OF NEWBURGH IN SUBMITTING AN APPLICATION FOR THE 2024-25 JUSTICE COURT ASSISTANCE PROGRAM (JCAP)

Councilman _____ presented the following resolution which was seconded by Councilman _____.

WHEREAS, the Town of Newburgh Justice Court has taken the initiative of seeking authorization to apply for a grant under the 2024-25 Justice Court Assistance Program (JCAP); and

WHEREAS, the Town of Newburgh Justice Court has provided each member of the Town Council with all the details regarding this grant application, including the proposed use of any monies granted as a result of this application.

NOW, THEREFORE, BE IT RESOLVED that:

The Board of the Town of Newburgh authorizes the Newburgh Town Court to apply for a JCAP grant in the 2024-25 grant cycle up to \$30,000.00.

The question of the adoption of the foregoing resolution was duly put to a vote on roll call, which resulted as follows:

- Paul I. Ruggiero, Councilman voting _____
- Scott Manley, Councilman voting _____
- Anthony R. LoBiondo, Councilman voting _____
- Gilbert J. Piaquadio, Supervisor voting _____

The resolution was thereupon declared duly adopted.

STATE OF NEW YORK)
COUNTY OF ORANGE) SS:
TOWN OF NEWBURGH)

I, Lisa M. Vance Ayers, Town Clerk of the Town of Newburgh, DO HEREBY CERTIFY that I have compared the foregoing resolution, duly adopted by the Town Board of the Town of Newburgh on the 15th day of October, 2024, and entered in the minutes of the proceedings of said Board, and that the foregoing is a true and correct copy of said resolution and the whole thereof.

IN WITNESS WHEREOF, I have hereunto set my name and the seal of said Town on this _____ day of October, 2024.

Lisa M. Vance Ayers, Town Clerk

#11A



HIGHWAY DEPARTMENT

90 GARDNERTOWN ROAD
NEWBURGH, NEW YORK 12550

TELEPHONE 845-561-2177
FAX 845-561-8987

MARK HALL
HIGHWAY SUPERINTENDENT

TO: Gil Piaquadio, Supervisor & Town Board Members
FROM: Mark Hall, Highway Superintendent *MH*
DATE: September 30, 2024
RE: Fall Leaf and Brush Pick-up

I would like to get the approval to have the attached letter published in the local newspapers to inform the Town Residents of the Fall pick-up schedule. Pick-up will be for the week of November 18, 2024 to November 21, 2024 and November 22, 2024 for calls.

If you have any questions you may feel free to contact me in my office.

MH/ch

cc: L. Vance Ayers, Town Clerk



TOWN OF NEWBURGH RESIDENTS LEAF AND BRUSH PICKUP – FALL OF 2024

Town trucks will pick up bagged leaves and brush (which must be less than 4 inches in diameter & no longer than four (4) feet in length & tied in bundles). Leaves will be in CLEAR BAGS ONLY BY ORDER OF TOWN BOARD. CLEAR BAGS are available at many retail outlets & stores in the Greater Newburgh area. Leaves bagged with DIRT AND STONE mixed in will NOT be picked up. Bags of Grass Clippings, Pine Cones or Pine Needles will NOT be picked up. Town trucks will not return to any area once they have picked up in the area.

Leaves & Brush must be curbside
throughout the entire Town on Monday,
November 18, 2024 no later than 7:00A.M.

We wish to **THANK YOU** for your cooperation

A leaf and brush recycling bin is available to the public at the Town of Newburgh Highway Department at 90 Gardnertown Road, Newburgh. Hours are Monday thru Friday 7:00am to 3:00pm.

Anthony LoBiondo, Councilman

Gil Piagnadio, Supervisor

Scott M. Manley, Councilman
Paul I. Ruggiero, Councilman

BY ORDER OF THE TOWN BOARD, Lisa Vance Ayers, Town Clerk

#11B



HIGHWAY DEPARTMENT

90 GARDNERTOWN ROAD
NEWBURGH, NEW YORK 12550

TELEPHONE 845-561-2177
FAX 845-561-8987

MARK HALL
HIGHWAY SUPERINTENDENT

TO: Gil Piaquadio, Supervisor, & Town Board Members
FROM: Mark Hall, Highway Superintendent *MH*
DATE: September 30, 2024
RE: Transfer Request

I would like to request the following budget transfer could you please put this on the agenda for the next meeting:

FROM:	TO:	AMOUNT:
D.5142.5413 Sand, Salt, Calcium, etc.	D.5112.5412 Permanent Improvements Street Paving & Resurfacing	\$76,000.00

If you have any questions please feel free to contact me. Thank you.

MH:ch
cc: R. Clum, Accounting



Town of Newburgh
 1496 Route 300
 Newburgh, New York 12550
 (845) 564-4552

Date: 9-30-24

Is the budget adjustment under \$7,500? Yes _____ No:

If yes: Please give Gil a copy to sign and deliver to the Accounting Office.

If no: Please have the board approve at the next available board meeting.

Reason why the budget transfer is needed MORE BLACKTOP WAS NEEDED THAN EXPECTED

From: Account Number: D.5142.5413 Amount: \$76,000⁰⁰/₁₄
 Account Description: SAND, SALT, CALCIUM Amount: _____

From: Account Number: _____ Amount: _____
 Account Description: _____ Amount: _____

To: Account Number: D.5112.5412 Amount: \$76,000⁰⁰/₁₄
 Account Description: PERMANENT IMPROVEMENTS Amount: _____

To: Account Number: _____ Amount: _____
 Account Description: _____ Amount: _____

Please note: The total of the from and to should equal.



 Department Head Signature

 Gil Piaquadio, Town Supervisor

#11C




HIGHWAY DEPARTMENT

90 GARDNERTOWN ROAD
NEWBURGH, NEW YORK 12550

TELEPHONE 845-561-2177
FAX 845-561-8987

MARK HALL
HIGHWAY SUPERINTENDENT

TO: Gil Piaquadio, Supervisor & Town Board Members
FROM: Mark Hall, Highway Superintendent 
DATE: October 2, 2024
RE: Dustless Blaster

I would like to be put on the agenda, to purchase One (1) Dustless Blaster from Dustless Blasting at \$17,406.96. Attached are the 3 price quotes.

The funds are available and will be taken equally from:
Highway, Fleet, Water, and Sewer Departments as per the 2024 budgets.

If you have any questions please feel free to call me. Thanking you in advance.

MH/ch
cc: Ron Clum

TOWN OF NEWBURGH
SUMMARY OF QUOTATION FORM

REQUESTED BY: _____

DATE PREPARED: _____

10-2-24

ITEM/SERVICE PURCHASED

DUSTLESS BLASTER

VENDOR NAME

DUSTLESS BLASTING

NOBITION SANDBLASTING EQUIP

SANDBLAST SOLUTIONS, INC

ADDRESS

5711 Schurmier Rd

1006 EXECUTIVE BLVD

90 RIKE DRIVE

CITY/STATE/ZIP

Houston, TX 77048

CHESAPEAKE, VA 23320

MILLSTONE, NJ 08534

PHONE #

1-713-869-2227

1-757-548-4842

1-609-301-7599

CONTACT PERSON

1-800-727-5707

1-800-366-4341

PRICE QUOTED

\$17,406.96%

\$30,000.0%

\$24,897.2%

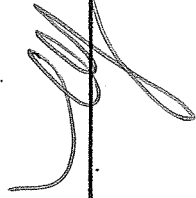
EXPIRATION DATE

VENDOR CHOSEN

DUSTLESS BLASTING

*NOTE: If the vendor you wish to purchase from did not give the lowest quote, state reason why you did not purchase from the lowest cost vendor.

DEPARTMENT HEAD SIGNATURE



DATE:

10/2/24

(ATTACH WRITTEN QUOTES)



CONTACT INFO:



Address

5711 Schurmier Road, Houston, TX 77048



Email

info@dustlessblasting.com



Phone

Toll Free: 800-727-5707 | International: +1 713-869-2227 |



Book A Meeting

Schedule a meeting with a blasting business expert to discuss next steps



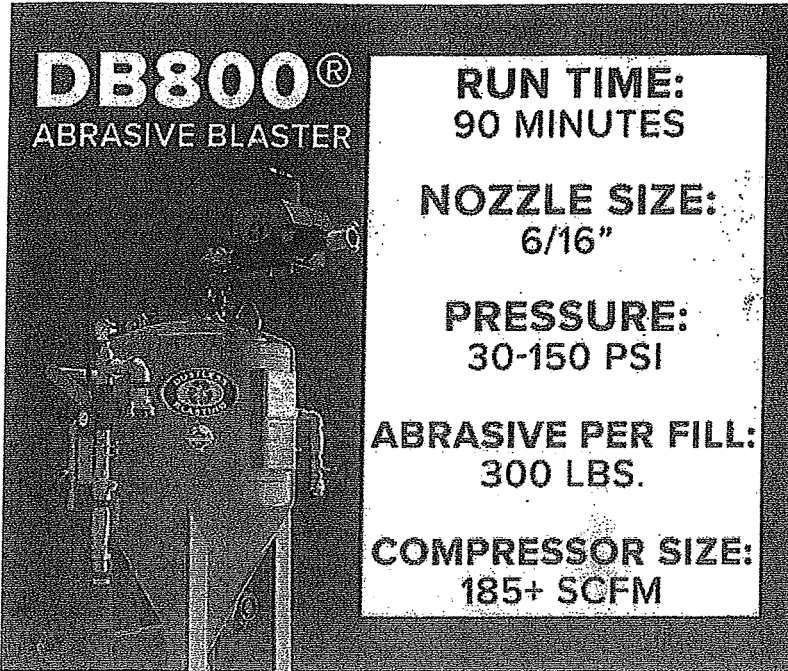
DUSTLESS BLASTING

The Future of Surface Preparation®

At Dustless Blasting, our equipment is designed smarter. We've got the best, most reliable equipment in the market, guaranteed to help you get the job done right.

CALL US AT 713-869-2227





DB800®
ABRASIVE BLASTER

RUN TIME:
90 MINUTES

NOZZLE SIZE:
6/16"

PRESSURE:
30-150 PSI

ABRASIVE PER FILL:
300 LBS.

COMPRESSOR SIZE:
185+ SCFM

Roll over image to zoom in Click on image to zoom



BLASTER + DRYER
17,406.96

DB800® Abrasive Blaster

SKU: DB800-P-5N



Style: Pneumatic

Pneumatic

Select compressor CFM for optimal nozzle pairing: 185 CFM Compressor - #5 Nozzle

185 CFM Compressor - #5 Nozzle

Price: \$15,500.00

From \$1,399.00/mo with shop  [Check your purchasing power](#)

Shipping calculated at checkout

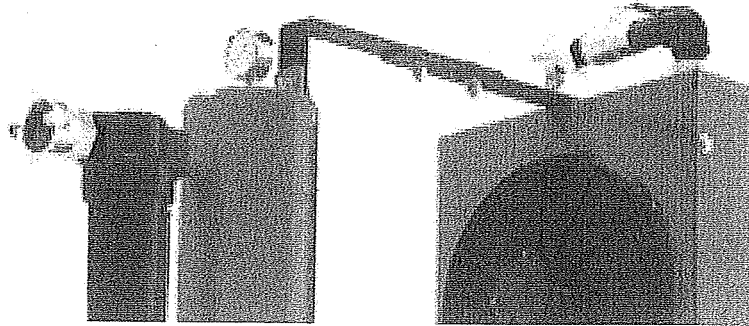
Quantity: -- 1 +



Search...

[Login / Signup](#)

[My account](#)



Roll over image to zoom in Click on image to zoom



350 SCFM Air Dryer & Cooler - ADCS-350 With MT-1

SKU: ADCS-350



Price: **\$3,500.00**

From \$315.90/mo with shop [Check your purchasing power](#)


Shipping calculated at checkout

Quantity: -- 1 +

1-1/4" Air Hose, 50ft, 4-Lug Couplings

SKU: A-MF0445

Price: \$390.25

4 interest-free installments, or from \$35.22/mo with shop  [Check your purchasing power](#)

Shipping calculated at checkout

Quantity:

Description

This hose is designed to connect your compressor to your blast pot, ensuring a steady supply of air during your blasting operations.

With a 1-1/4" inner diameter, this hose provides a strong and consistent flow of compressed air to your blast pot, making it an ideal choice for use with our DB500, DB800, DB1500, and DB3000 machines. The 4-lug couplings ensure a secure and reliable connection to your equipment, while the 50ft length provides plenty of flexibility and maneuverability.

Made from durable materials, this hose is built to withstand the harsh conditions of blasting operations and is designed for long-lasting use.

[View less](#)

Klarna FAQ

Slice up the payment on your purchase!

We have partnered with Klarna to provide you with flexible financing on purchases, so you can ease the costs and pay over a period of time of up to 36 months.

It's simple and easy

[View more](#)

You may also like



\$98.00

50' Electric Line





1006 Executive Blvd. • Chesapeake, VA 23320
Tel 757-548-4842 • 800-366-4341 • FAX 757-547-9597

SVAM Small
Vessel and
Mobile-Operated
Abrasive Blasting Equipment
#716028

NORTON SANDBLASTING EQUIPMENT INTRODUCING THE AXIOM-SCHMIDT AMPHIBLAST LITE

Nimble yet heavyweight for all your abrasive blasting needs.

The AmphiBlast™ Lite 3.5 is the newest addition to the Schmidt® AmphiBlast family of versatile and productive, wet / dry abrasive blasting systems. It includes all of the same innovative and easy to use features, packaged in a smaller, more mobile system. This "lite" system offers nimble yet heavyweight performance for all of your abrasive blasting needs.

Operation of the AmphiBlast Lite is simple. Set the desired blast pressure using the blast pressure control regulator. Choose to blast dry or wet by pushing or pulling a button on the control panel. During wet abrasive blasting, simply dial the water pressure regulator to the desired flow rate represented by the water over air differential pressure gauge reading. This streamlines the control of the blast pressure and the control of the amount of water injected into the air stream while blasting. You have precise control of the air, grit and water flows to lock in optimal blasting performance with efficient grit and water consumption. Once optimal flow parameters are set, switching between normal blasting settings and lower air pressure for Softwash™ and blow off is consistent, fast and easy.

The AmphiBlast Lite requires connection to an external water source and compressed air.

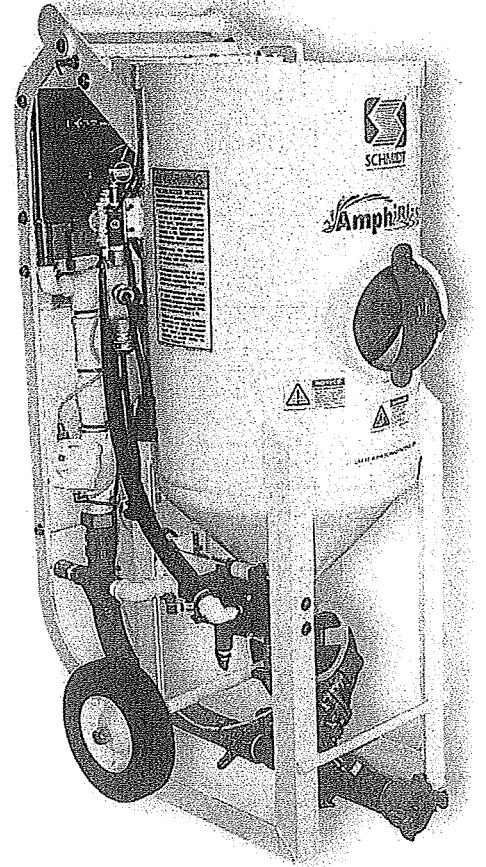
Features:

- Wet blast or dry blast with a single unit
- Minimal water usage (less than 1 pint / ½ liter per minute) with proprietary Schmidt M.I.S.T.™ technology that allows precise control of the amount of water injected into the air stream while blasting
- Set and forget switching between machine modes
- Abrasive tank is "dry" so there is no need to drain water to refill with abrasive. This creates a significantly cleaner job site and is more efficient
- Industry leading productivity and reliability from Schmidt abrasive blasting technology
- Schmidt Tervalue™ XL abrasive metering valve offers precise and repeatable control of a wide range of coarse or fine abrasives
- Wide range of blasting pressure capabilities from 10 to 150 psi
- Toggle between wet blast, dry blast, and blowoff using a single control panel
- Increased portability

Specifications:

Vessel size: 3.5 cu. ft.

Dimensions: 24"W x 33"L x 53"H





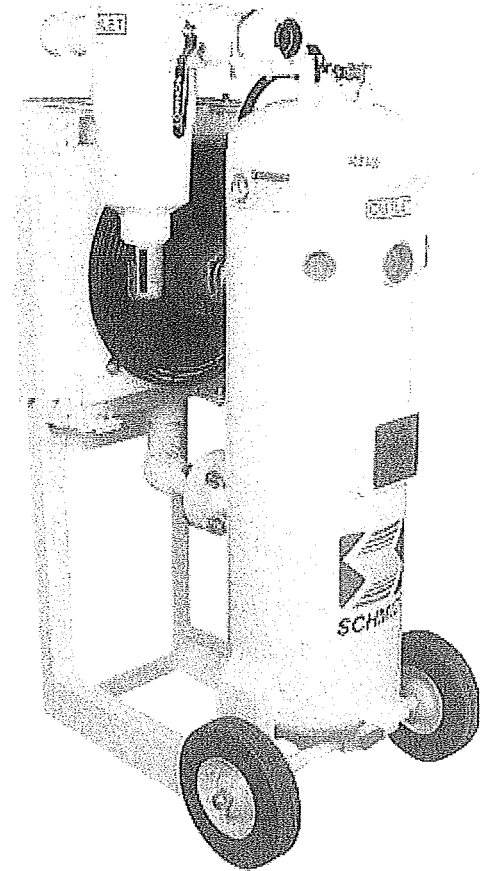
1006 Executive Blvd. • Chesapeake, VA 23320
Tel 757-548-4842 • 800-366-4341 • FAX 757-547-9597

SWAM Small
Workshop and
Light-Duty
#716028

NORTON SANDBLASTING EQUIPMENT AFTER COOLER ACS OPTIONS

Moisture Separators, Air Filters, Aftercoolers and Air Dryers Reduce Maintenance Costs, Down-Time and Wear on your Pneumatic Machinery and Equipment with Dry Air

Moisture in your compressed air is a big problem! It makes the abrasive in your blast machine damp or wet, causing the abrasive flow from the machine to be uneven and reduce or even completely block media flow. The operator may find himself opening the media valve to get more grit, thus wasting the grit. Moist abrasive media can adhere to the internal components of the blaster, and when it dries, it can be extremely difficult to remove! Water and oil vapors can cause "flash rusting" on the surface of steel products and oil vapors deposited on surfaces will cause paint and other coatings to adhere poorly or create early failures such as chipping and separating.



**CALL NORTON SANDBLASTING EQUIPMENT TODAY FOR
YOUR AFTER COOLER NEEDS**

757 548-4842 or Toll Free 800 366-4341

Visit us at www.nortonsandblasting.com

MODEL (CFM)	VOLUME/AIR DRYER DELIQUESCENT STORAGE - CU FT (L)	INLETS/OUTLETS (NPT) (x) = NO. of OUTLETS	DIMENSIONS L x W x H IN (CM) <small>*/+Electric motor adds 5"/16" (13 cm/15 cm) H</small>	WEIGHT LBS (KG)
ACS 250P	2.7 (77)	2" / (1) 2", (2) 1 1/2"	35 x 24 x 54* (89 x 61 x 137*)	370 (138)
ACS 400P	2.7 (77)	2" / (1) 2", (2) 1 1/2"	35 x 24 x 58* (89 x 61 x 147*)	432 (161)
ACS 400	8.7 (244)	2" / (1) 2", (2) 1 1/2", (4) 1"	49 x 30 x 67* (124 x 76 x 170*)	711 (265)
ACS 750	10.0 (283)	2" / (1) 2", (2) 1 1/2", (4) 1"	57 x 30 x 73* (145 x 76 x 185*)	793 (296)
ACS 950	10.2 (289)	3" / (1) 3", (2) 2", (4) 1"	68 x 35 x 85* (173 x 89 x 216*)	1220 (455)
ACS 1200	10.2 (289)	3" / (1) 3", (2) 2", (4) 1"	72 x 35 x 85* (183 x 89 x 216*)	1286 (480)
ACS 1600	10.2 (634)	3" / (1) 3", (2) 2", (4) 1"	74 x 37 x 85* (188 x 94 x 216*)	1572 (587)
ACS 2000	37.0 (1048)	4" / (1) 4", (2) 2", (2) 1"	80 x 40 x 98* (203 x 102 x 249*)	2105 (957)
ACS 2500	37.0 (1048)	4" / (1) 4", (2) 2", (2) 1"	116 x 49 x 80* (295 x 124 x 203*)	2365 (1075)



Robert Kitchen <rkitchen@nortonsandblasting.com>
to me, Robert ▾

James,

Additional Info about Blasting – attached

Page 2 – OSHA

Page 3 – PPE ... approx. \$1,500 to \$3,000 w/ CO Monitor

Pages 4-5 ... CO Monitor

Print page 6

Page 7 – Dry Air

Print page 10

Wet & Dry Blasting System - attached

AmphiBlast Lite – Portable 3.5cuft Blast Pot, Single Operator, \$20,000 ish.

AmphiBlast – Stationary, 4.5cuft Blast Pot, Single Operator \$33,000 ish,

6.5cuft Blast Pot, Dual Operator, \$55,000 ish.

Dry Blasting System - attached

Multi-Media – Portable, 3.0cuft Blast Pot, Single Operator, \$16,000 ish.

Standard Blast Pot Packages

Air Dryer – attached ACS250 \$10,000 ish.

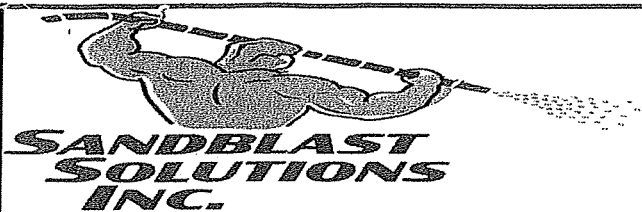
Look over the information provided and let's talk again; my Direct Line is 757/410-4312

Robert Kitchen – National Sales Director, Commercial

rkitchen@jhnorton.com

Phone: (757) 548-4842 | (800) 366-4341

(757) 410-4312 Direct | (757) 570-6758 Cell



SANDBLAST SOLUTIONS INC.
 900 Rike Dr., Millstone, NJ. 08535
 Office: 609-301-7599 | Fax: 609-448-9444
 www.sandblastinc.com

SALES QUOTE

Customer ID: C00001444
Quote No.: 004746
Quote Date: 8/26/2024
Delivery Date: 8/26/2024
Sales Rep:

Bill To:

Ship To:

QUICK QUOTES

QUICK QUOTES

Customer P.O/NO	Terms	Ship Via
	Due on receipt	

Job Information	Shipment Terms	Requested By
TownshipNewburgh		James

This quote is valid for 30 days from creation date and is good only for the job mentioned.

ITEM	DESCRIPTION	QTY	UOM	PRICE	EXT. PRICE
AXX8720011	M SERIES MODEL M11 (W/ DP GAUGE)	1.00	EA	12,825.00	12,825.00
AXX1310021P	AIR DRYER SYSTEM ADS 250 CFM PORTABLE W/RADIATOR W/1.00 O DELIQUESCENT *		EA	11,336.35	11,336.35
BHPSSI075	Blast Hose - SSI 3/4" 4-Ply - Price Per Foot	50.00	EA	3.66	183.00
NEC13ALQ1	Q1 Blast Coupling (Standard), 3/4" Hose ID x 1-1/2" Hose OD (1-1/4" Gasket ID), (Aluminum)	1.00	EA	6.12	6.12
NEC13ALHE1	HE1 Nozzle Holder (Standard), 3/4" Hose ID x 1-1/2" Hose OD (1-1/4" NPS), (Aluminum)		EA	8.44	8.44
KENB2015643	TLVE-4AP GREEN ALL POLY ASSY	1.00	EA	118.16	118.16
AXX2263002	AXXIOM G2 DEADMAN VALVE-PNEUMATIC	1.00	EA	167.20	167.20
AXX4100501	HOSE, TWINLINE ASSY 3/16 X 55' (94001)	1.00	EA	0.00	0.00
BHPAR20100UUXF050PS	AR20 Red 300 PSI Air Hose - 1" x 50' coupled AM11 E/E Crimped	2.00	EA	126.47	252.94

Signature: _____ **Date:** _____

Remit by ACH: Checking #9869471186 Routing #022000046. Please provide invoice number(s) and send remittance to ap@sandblastinc.com

Remit by Check: Sandblast Solutions
 900 Rike Dr.
 Millstone Twp., NJ 08535

Remit by Credit Card: There is a 3% Processing Fee

Sales Total: 24,897.21

Tax Total: 0.00

OFF-RENT Equipment: To ensure proper processing of your request, please email AP@sandblastinc.com

Total: 24,897.21



SALES QUOTE

Customer ID: C00001444
Quote No.: 001718
Quote Date: 3/13/2024
Delivery Date: 3/13/2024
Sales Rep:

Bill To:

Ship To:

QUICK QUOTES

QUICK QUOTES

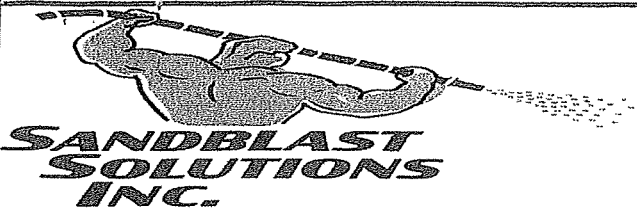
Customer P.O. NO.	Terms	Ship Via
	Due on receipt	

Job Information	Shipment Terms	Requested By
TownshipNewburgh		

This quote is valid for 29 days from creation date and is good only for the job mentioned.

ITEM	DESCRIPTION	QTY	UOM	PRICE	EXT. PRICE
AXX823101520W	AMPHIBLAST, 1.5 MINI P-RCS/12DC TERAVALVE TC (1) 1" MAN BD 150PSI WATER TANK DOLLY	1.00	EA	19,598.69	19,598.69
	NOTE: 3-4 week lead time				
AXX1310021P	AIR DRYER SYSTEM ADS 250 CFM PORTABLE W/RADIATOR W/1.00 O DELIQUESCENT *	1.00	EA	11,336.35	11,336.35
BHPSSI075	Blast Hose - SSI 3/4" 4-Ply - Price Per Foot	50.00	EA	3.66	183.00
	NOTE: Coupled with 13ALQ1 and 13ALHE1				
NEC13ALQ1	Q1 Blast Coupling (Standard), 3/4" Hose ID x 1-1/2" Hose OD (1-1/4" Gasket ID), (Aluminum)	1.00	EA	6.05	6.05
NEC13ALHE1	HE1 Nozzle Holder (Standard), 3/4" Hose ID x 1-1/2" Hose OD (1-1/4" NPS), (Aluminum)	1.00	EA	8.35	8.35
KENB2015643	TLVE-4AP GREEN ALL POLY ASSY	1.00	EA	118.16	118.16
AXX2263402	AXXIOM G2E DEADMAN SWITCH ASSY	1.00	EA	205.78	205.78
WES1626ECBLKGRNRED	16.2 Polyurethane Jacketed Extreme Duty Electric Cable (BLK, GRN, RED)	50.00	EA	1.50	75.00
BHPAR20100UUXF050PS	AR20 Red 300 PSI Air Hose - 1" x 50' coupled AM11 E/E Crimped	2.00	EA	126.47	252.94

Signature: _____ Date: _____



SANDBLAST SOLUTIONS INC.
 900 Rike Dr., Millstone, NJ. 08535
 Office: 609-301-7599 | Fax: 609-448-9444
 www.sandblastinc.com

SALES QUOTE

Customer ID: C00001444
Quote No.: 001718
Quote Date: 3/13/2024
Delivery Date: 3/13/2024
Sales Rep:

This quote is valid for 29 days from creation date and is good only for the job mentioned.

ITEM	DESCRIPTION	QTY	UOM	PRICE	EXT. PRICE
DELIVERY	Newburgh, NY township	1.00	EA	850.00	850.00

Signature: _____ **Date:** _____

Remit by ACH: Checking #9869471186 Routing #022000046. Please provide invoice number(s) and send remittance to ap@sandblastinc.com

Remit by Check: Sandblast Solutions
 900 Rike Dr.
 Millstone Twp., NJ 08535

Remit by Credit Card: There is a 3% Processing Fee

OFF-RENT Equipment: To ensure proper processing of your request, please email AP@sandblastinc.com

Sales Total: 32,634.32

Tax Total: 0.00

Total: 32,634.32



SALES QUOTE

Customer ID: C00001444
Quote No.: 001719
Quote Date: 3/13/2024
Delivery Date: 3/13/2024
Sales Rep:

Bill To: _____ **Ship To:** _____

QUICK QUOTES

Customer P.O NO.	Terms	Ship Via
	Due on receipt	

QUICK QUOTES

Job Information	Shipment Terms	Requested By
TownshipNewburgh		

This quote is valid for 29 days from creation date and is good only for the job mentioned.

ITEM	DESCRIPTION	QTY	UOM	PRICE	EXT. PRICE
AXX822103321W	AMPHIBLAST 3.5CF LITE SYSTEM (1) 1-1/4" TERAVALVE TC 12VDC MT W/ ATTACHED WATER TANK	1.00	EA	26,051.13	26,051.13
AXX1310021P	AIR DRYER SYSTEM ADS 250 CFM PORTABLE W/RADIATOR W/1.00 O DELIQUESCENT *		EA	11,336.35	11,336.35
BHPSSI075	Blast Hose - SSI 3/4" 4-Ply - Price Per Foot	50.00	EA	3.66	183.00
	NOTE: Coupled with 13ALQ1 and 13ALHE1				
NEC13ALQ1	Q1 Blast Coupling (Standard), 3/4" Hose ID x 1-1/2" Hose OD (1-1/4" Gasket ID), (Aluminum)	1.00	EA	6.05	6.05
NEC13ALHE1	HE1 Nozzle Holder (Standard), 3/4" Hose ID x 1-1/2" Hose OD (1-1/4" NPS), (Aluminum)		EA	8.35	8.35
KENB2015643	TLVE-4AP GREEN ALL POLY ASSY	1.00	EA	118.16	118.16
AXX2263402	AXXIOM G2E DEADMAN SWITCH ASSY	1.00	EA	205.78	205.78
WES1626ECBLKGRNRED	16.2 Polyurethane Jacketed Extreme Duty Electric Cable (BLK, GRN, RED)	50.00	EA	1.50	75.00
BHPAR20100UUXF050PS	AR20 Red 300 PSI Air Hose - 1" x 50' coupled AM11 E/E Crimped	2.00	EA	126.47	252.94
DELIVERY	Newburgh, NY township	1.00	EA	850.00	850.00

Signature: _____ **Date:** _____

Remit by ACH: Checking #9869471186 Routing #022000046. Please provide invoice number(s) and send remittance to ap@sandblastinc.com

Remit by Check: Sandblast Solutions
 900 Rike Dr.
 Millstone Twp., NJ 08535

Remit by Credit Card: There is a 3% Processing Fee

OFF-RENT Equipment: To ensure proper processing of your request, please email AP@sandblastinc.com

Sales Total: 39,086.76

Tax Total: 0.00

Total: 39,086.76

#13A



TOWN OF NEWBURGH
1496 Route 300
NEWBURGH, NEW YORK 12550
(845) 564-4552

Date: 10/7/2024

Is the budget adjustment under \$7500? Yes: _____ No: x

If yes, Please give Gil a copy to sign and deliver to the Accounting Office.

If no, Please have the board approve at the next available board meeting.

Reason why the budget transfer is needed: _____

Budget transfer: Due to the DAT shutdown, water production at CLFP is increased

From:	Account Number:	<u>4001.5459</u>	Amount:	<u>\$ (25,000.00)</u>
	Account Description:	<u>DAT-Chemicals</u>		
From:	Account Number:	<u>4002.5457</u>	Amount:	<u>\$ (25,000.00)</u>
	Account Description:	<u>DAT-Sludge Hauling</u>		
From:	Account Number:	<u>4002.5430</u>	Amount:	<u>\$ (100,000.00)</u>
	Account Description:	<u>DAT-NYC Water</u>		
From:	Account Number:	<u>4002.5466</u>	Amount:	<u>\$ (50,000.00)</u>
	Account Description:	<u>DAT -Operating Supplies</u>		
		FROM Sub Total		<u>\$ (200,000.00)</u>
To:	Account Description:	<u>4001.5457</u>		<u>\$ 100,000.00</u>
	Account Description:	<u>CLFP-Sludge Hauling</u>		
To:	Account Description:	<u>4001.5459</u>		<u>\$ 100,000.00</u>
	Account Description:	<u>CLFP-Chemicals</u>		
		TO Sub Total		<u>\$ 200,000.00</u>

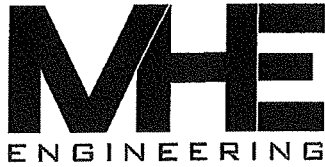
Please note: The total of from/to should be equal. Total 0.0

=====

James Od
Department Head Signature

Gil Piaquadio, Town Supervisor

#13B



8 October 2024

Town of Newburgh
1496 Route 300
Newburgh, NY 12550

ATTENTION: GILBERT PIAQUADIO, SUPERVISOR AND TOWN BOARD

SUBJECT: POLO CLUB PB# 18-12
MS4- SWPPP 5 ACRE WAIVER REQUEST

Dear Supervisor Piaquadio and Town Board Members,

The Polo Club project has Conditional Final Approval for the construction of a 242 unit garden apartment complex with senior density bonus. The project requires coverage under the NYSDEC Construction Stormwater Permit. The project is proposed to be built in phases to limit the amount of disturbed area on the project site at any one time. The applicant's representatives, Engineering & Surveying Properties have identified that based on the earth work required in certain areas of the project site, including cuts and fills greater than 10 feet, the project will necessitate disturbing greater than 5 acres at one time.

The applicant's representative submitted a request to disturb up to 8+/- acres. The SWPPP and Site Plans contain additional requirements with regard to implementation of the Erosion and Sediment Control Plan. Projects which disturb greater than 5 acres must undertake two inspections per week and must stabilize all areas brought to grade within 7 days. Project is required to post Stormwater securities and associated inspection fees for periodic evaluation of compliance with the Town's requirements.

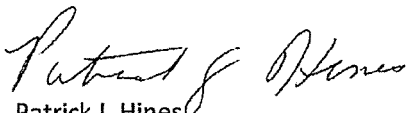
Attached please find correspondence from the applicants engineer of record who designed the plans and the SWPPP for the site, requesting the 5 acre waiver.

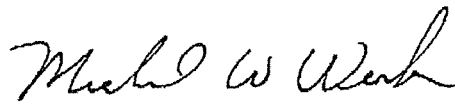
The 5 acre waiver requires Town Board action. We request this matter be scheduled for an upcoming Town Board meeting.

If you have any questions, comments or require additional information please don't hesitate to contact our office.

Respectfully submitted,

MHE Engineering, D.P.C.


Patrick J. Hines
Principal


Michael W. Weeks, P.E.
Principal

NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mhenny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com

Polo Club

8 October 2024

PJH/kbw

Cc : John P. Ewasutyn, Chairman Planning Board
Gerald Canfield, Code Compliance Supervisor
Jim Osborne, Town Engineer



Montgomery Office:

71 Clinton Street
Montgomery, NY 12549

Goshen Office:

262 Greenwich Ave, Ste B
Goshen, NY 10924

(845) 457 - 7727

www.EngineeringPropertiesPC.com

September 30, 2024

Town of Newburgh
1496 Route 300
Newburgh, NY 12550

**RE: W.O. # 114.01
POLO CLUB
NYS ROUTE 300, TOWN OF NEWBURGH
NYSDEC GP 0-20-001 WAIVER REQUEST OF 5 ACRE DISTURBANCE LIMIT**

The Polo Club project approval contained fully detailed site plans, erosion & sediment control plans, construction phasing, and a full Stormwater Pollution Prevention Plan (SWPPP). The Site Plans and the SWPPP clearly discussed the need and requirement for a 5 acre waiver due to several factors including earthwork requirements of certain areas that require significant cuts and fills to achieve final elevation. Site preparation activities shall be planned and monitored to minimize the area and duration of soil disturbance. The project is proposed to be built in phases limiting the amount of disturbance at any one time, however; due to the earthwork required in certain areas (i.e. cuts and fills greater than 10'), resulting in the necessity of greater than five acres to be disturbed at any one time. The SWPPP and Site Plans also contain additional requirements with regards to erosion and sediment control, additional inspections during construction. The approved SWPPP contained a draft of the Notice of Intent (NOI) that will be electronically filed with New York State Department of Environmental Conservation (NYSDEC) which indicated that a waiver for greater than 5 acres was required. A MS4 signoff was prepared and submitted to the Town of Newburgh Engineer for signature prior which will also be included in the filing of the NOI.

Based upon the information noted above and approval of all plans & SWPPP, we respectfully request that an official 5 acre waiver be issued from the Town of Newburgh as the MS4.

If you have any additional questions and/or comments, please don't hesitate to contact this office.

Sincerely,
Engineering & Surveying Properties, PC

Jay Samuelson, P.E.
Principal

#13C



MEMORANDUM

DATE: 9 OCTOBER 2024
TO: PATRICK J. HINES, PRINCIPAL
FROM: MATTHEW J. SICKLER, P.E., ASSOCIATE
CC: QUINN M. MULLARKEY, E.I.T., PROJECT ENGINEER
SUBJECT: ROSETON (ORCHARD HILLS) WWTP SAND REPLACEMENT

It is our recommendation that the Town authorize the replacement of the sand at the Roseton (Orchard Hills) WWTP. Currently, the effluent is being bypassed around the existing sand filter. Recently, the old sand was removed and the air line to the filter was replaced. The existing SPDES permit (NY 0271373) has a Total Suspended Solids effluent limit of 10 mg/L (10 lbs/day). The sand filter provides the necessary tertiary treatment to meet these effluent requirements. It is our opinion that operating the plant without utilizing the filter could lead to violations of the permit and potential actions taken by NYSDEC. NYSDEC is reviewing the SPDES permit application which has delayed the construction of the proposed cloth disc filter.



9 October 2024

Town of Newburgh
1496 Route 300
Newburgh, NY 12550

ATTENTION: GILBERT PIAQUADIO, TOWN SUPERVISOR

**SUBJECT: RECOMMENDATION OF AWARD
ROSETON (ORCHARD HILLS) WWTP – SAND REPLACEMENT**

Dear Supervisor Piaquadio and Town Board Members,

MHE Engineering has received two quotes for the replacement of the silica sand in the existing sand filter at the Roseton (Orchard Hills) WWTP P. The quotes to complete the sand replacement are outlined in the table below.

Company Name	Price	Silicon Dioxide %
TAM Enterprises	\$17,520	88.7
Rapid Pump & Meter Service Co.	\$17,947	99.8

The gradation report for the existing filter is attached and recommends a Silicon Dioxide percentage of 98.2%. The sand proposed by TAM Enterprises does not meet this requirement. Based on the above, it is our recommendation that the Town of Newburgh award the Roseton (Orchard Hills) WWTP Sand Replacement Work to Rapid Pump & Meter Service Co. Attached to this letter is the proposal from Rapid Pump & Meter Service Co. should the Town Board wish to authorize the sand replacement work.

Respectfully submitted,

MHE Engineering, D.P.C.

Matthew Sickler, P.E.
Associate

**Attachments: Rapid Pump & Meter Service Co. Quote and Sand Data Sheets
Centra-flo Sand Specification**

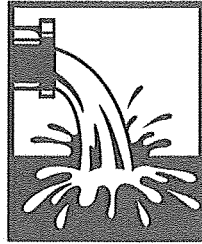
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Rapid Pump & Meter Service Co.



July 31, 2024

Quinn Mullarkey
Town of Newburgh –C/O MHE Engineers
805 Cortland Dr.
Newburgh, NY 12550

Reference: **Replace Silica Sand at Filter,
Roseton Hills WWTP**

Dear Ms. Mullarkey:

As per your request and our site inspection, Rapid Pump & Meter Service Co. is pleased to offer the following proposal for your approval.

The scope of work shall be as follows:

1. Furnish the labor, material and equipment to deliver 12,000 lbs. silica sand, 12-20 G, palletized, delivered and offloaded at site.
2. Furnish the labor, material and equipment required to move sand to rear of plant where bags will be manually dumped into cylindrical basin at grade surface.

The cost for the above scope of work shall be..... \$17,947.00

PLEASE NOTE:

1. The above proposal notes that the sand has already been removed from the filter.
2. Only those parts and labor listed in the above proposal are included in this price. Should other parts or labor be required, there will be an additional cost based on owner's approval. Labor is Prevailing Wage.
3. All work performed at site **does not** require any technicians to enter the sand filter.
4. Customer responsible for isolation of filter during loading of sand media.
5. Customer responsible for operating the filter during start-up.

Town of Newburgh – Roseton Hills WWTP

July 31, 2024

Page Two

All work is quoted on a straight time basis. If overtime is required, this would be at additional cost. Sales taxes, licenses, permits and/or fees, if any, are not included in this proposal.

Availability of Sand: 1 – 2 weeks

Terms: Net 30 Days.

Should you have any questions, please feel free to contact me. Thank you for giving us the opportunity to quote on this project.

SUBMITTED BY:



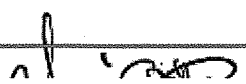
L.S. Date July 31, 2024

Christian Otto
Rapid Pump & Meter Service Co.

ACCEPTED BY:

L.S. Date _____

Title



FINE ROUND GRAIN SILICA SAND

Typical Physical Properties		Typical Chemical Properties	
Fusion Point	3135 °F	#12-20 and Finer Sizes	
Hardness	Knoop - 820; Mohs - 7	SiO ₂	99.8%
Grain Shape	Spherical	Fe ₂ O ₃	0.016%
Specific Gravity	2.65 g/cm ³	Al ₂ O ₃	0.034%
Loose Pack Bulk Density	1.60 g/cm ³ (100 lbs./ft ³)	TiO ₂	0.007%
pH	6.8 to 7.2	CaO	0.011%
		MgO	0.007%
		Loss on Ignition	0.094%

TYPICAL SCREEN ANALYSIS (Percent Retained)

US SIEVE	12-20	16-30	20-40	35-50	40-70	50-80	70-100	100-140	140-200	140-270
12										
14	11.7									
16	60.0									
18	19.5	1.3								
20	5.9	48.2	0.2							
25	2.9	45.4	7.0	0.3						
30		3.8	20.6	2.0	0.3					
35		0.9	42.8	20.5	5.2					
40		0.4	23.3	35.3	16.5	2.7	2.9	1.2	0.3	
50			6.0	32.7	37.0	39.3	17.4	2.9	1.5	
60				4.7	14.2	23.8	---	---	---	
70				2.2	9.3	16.2	39.9	13.2	4.4	
80				2.3	5.5	9.1	---	---	---	
100					4.8	5.4	27.7	41.4	19.8	
120					7.2	3.5	---	---	---	---
140							11.2	36.3	42.8	27.8
170							---	---	---	---
200							0.9	4.8	20.5	50.9
230								---	---	---
270								0.1	8.3	19.3
325/PAN									2.3	2.0
	100.0	100.0	100.0	100.0	100.0	100.0	100.0	100.0	100.0	100.0

AFS Grain Number	11	15	25	35	47	50	59.6	80.3	111.8	144
Effective Size (mm).	1.0	0.71	0.43	0.30	.15	.15	.11			

SAFETY DATA SHEET

Product Name: Silica Sand, Silica Flour, or Quartz

Product Description: Crystalline Silica

1. IDENTIFICATION OF THE SUBSTANCE/MIXTURE, AND OF THE COMPANY/UNDERTAKING

1.1 Identification of the substance or preparation

Product identifiers: Silica Sand, Quartz, Novaculite, Silicon Dioxide, Silica Flour.

1.2 Other means of identification

Odorless, abrasive (hard), white, gray, or tan granular powder.

1.3 Recommended use and restrictions on use

Main applications of silica (non-exhaustive list): glass Ingredient, silica chemical processing, foundry sand, refractory ingredient, filler for resins, composites, artificial stone, textured coatings, glues and mortars.

DO NOT USE THIS PRODUCT FOR SANDBLASTING.

1.4 Supplier

Company Name:	AGSCO Corporation	Emergency number: 847-520-4455
Address:	160 West Hintz Road	Information number: 847-520-4455
	Wheeling Illinois 60090	Prepared: November, 2017

2. HAZARDS IDENTIFICATION

2.1 Classification in accordance with 29 CFR §1910.1200(d)

STOT RE 1; Carcinogen 1A

2.2 Signal word, hazard statements, symbol and precautionary statements

Danger Causes damage to lungs, kidneys, through prolonged or repeated exposure. May cause cancer by prolonged or repeated inhalation.



Do not breathe dust. Wash hands thoroughly after handling. Do not eat, drink or smoke when using this product. Obtain special instructions before use. Do not handle until all safety instructions have been read and understood. Wear eye and respiratory protection. If exposed or concerned: Get medical attention. Store locked up. Dispose of contents in accordance with local, regional and national regulations.

2.3 Hazards not otherwise classified

Increased risk of systemic autoimmune disease (scleroderma, rheumatoid arthritis, and systemic lupus erythematosus) through prolonged or repeated inhalation. Increased risk of tuberculosis through prolonged or repeated inhalation. Smoking increases the risk of lung function impairment and chronic obstructive pulmonary disease COPD through prolonged or repeated inhalation.

3. COMPOSITION/INFORMATION ON INGREDIENTS

3.1 Chemical name and composition

Component	CAS Number	EINECS Number	Percent
Silicon dioxide (quartz)	14808-60-7	238-878-4	98.7 - 99.9
Aluminum Oxide	1344-28-1	215-691-6	<1.1
Iron Oxide	1309-37-1	215-168-2	<0.1
Titanium Oxide	13463-67-7	236-675-5	<0.1

SAFETY DATA SHEET

3.2 Common name and synonyms

Silica, SiO₂, quartz, crystalline silica, Novaculite, cryptocrystalline quartz, microcrystalline quartz, sand, chert, flint, tripoli.

3.3 Impurities which are themselves classified and which contribute to the classification of the product

Contains 1% or greater respirable crystalline silica which is classified as STOT RE 1

4. FIRST AID MEASURES

4.1 Eye Exposure

Not classified as an eye irritant. May cause physical abrasion if it gets in eyes. If in eyes: Rinse cautiously with water for several minutes. Remove contact lenses, if present and easy to do. Continue rinsing.

4.2 Skin Exposure

Not applicable.

4.3 Inhalation

If exposed or concerned: Get medical attention.

4.4 Ingestion

Not applicable.

4.5 Most important symptoms/effects, acute and delayed

Dry chronic cough, sputum production, shortness of breath, wheezing, and reduced pulmonary function.

4.6 Indication of immediate medical attention and special treatment needed.

Symptoms of pulmonary impairment, such as shortness of breath, coughing, and wheezing.

5. FIRE-FIGHTING MEASURES

5.1 Suitable extinguishing media

Noncombustible and compatible with all extinguishing media.

5.2 Specific hazards arising from the chemical

Noncombustible. Thermal decomposition will not occur.

5.3 Special protective equipment and precautions for fire-fighters

Wear respiratory protection where airborne dust occurs.

6. ACCIDENTAL RELEASE MEASURES

6.1 Personal precautions, protective equipment, and emergency procedures

Avoid generating airborne dust. Wear respiratory protection where airborne dust occurs. Keep unnecessary people away; isolate hazard area and deny entry.

6.2 Methods and materials for containment and cleaning up.

Do not dry sweep or use compressed air. Use water spraying, or a ventilated or HEPA filtered vacuum cleaning system.

7. HANDLING AND STORAGE

7.1 Precautions for safe Handling

Do not breathe dust. Obtain special instructions before use. Do not handle until all safety instructions have been read and understood. Wear eye and respiratory protection. Avoid airborne dust generation.

SAFETY DATA SHEET

Use appropriate exhaust ventilation at places where airborne dust is generated, including during loading and unloading. Do not rely on your sight to determine if dust is in the air. Respirable crystalline silica dust may be invisible in the air. Handle packaged products carefully to prevent accidental bursting. Maintain and test ventilation and dust collection equipment. Use all available work practices to control dust exposures, such as water sprays. Practice good housekeeping. Do not permit dust to collect on walls, floors, sills, ledges, machinery, or equipment. Exposures to respirable crystalline silica can occur when cutting, sawing, grinding, drilling, and crushing this material or articles that contain this material.

7.2 Conditions for safe storage

Keep containers closed and store to avoid accidental tearing, breaking, or bursting. Inert and unreactive with most chemicals. Contact with powerful oxidizing agents such as fluorine, chlorine trifluoride, and oxygen difluoride may cause fires.

8. EXPOSURE CONTROLS / PERSONAL PROTECTION

8.1 Exposure limits

OSHA PEL 8-hour time weighted average for respirable quartz expressed as millions of particles per cubic foot of air, based on impinger samples counted by light-field techniques:

250
(%SiO₂+5)

The percentage of crystalline silica in the formula is the amount determined from airborne samples, except in those instances in which other methods have been shown to be applicable. OSHA PEL 8-hour time weighted average for respirable quartz expressed as milligrams per cubic meter:

10 mg/m³
(%SiO₂+2)

Both concentration and percent quartz for the application of this limit are to be determined from the fraction passing a size-selector with the following characteristics:

Aerodynamic diameter (unit density sphere)	Percent passing selector
2	90
2.5	75
3.5	50
5	25
10	0

OSHA PEL 8-hour time weighted average for Quartz total dust expressed as milligrams per cubic meter
30 mg/m³
(%SiO₂+2)

On September 12, 2013, OSHA published a preliminary quantitative risk assessment concluding that the available evidence indicates that employees exposed to respirable crystalline silica well below the current PELs are at increased risk of lung cancer mortality and silicosis.

CAL OSHA PEL 8-hour time weighted average for respirable quartz 0.1 mg/m³
CAL OSHA PEL 8-hour time weighted average for quartz total dust 0.3 mg/m³

ACGIH TLV 8-hour time weighted average for respirable α-quartz and cristobalite 0.025 mg/m³
NIOSH REL up to 10 -hour time weighted average for respirable quartz ca 0.05 mg/m³

SAFETY DATA SHEET

8.2 Appropriate engineering controls

Avoid airborne dust generation. Use process enclosures and appropriate exhaust ventilation at places where airborne dust is generated, including during loading and unloading. Apply organizational measures, e.g. by isolating personnel from dusty areas. Remove and wash soiled clothing.

8.3 Individual protection measures, such as personal protective equipment

8.3.1 Eye / Face Protection

Wear appropriate safety glasses with side shields or chemical goggles.

8.3.2 Skin Protection

Wear body-covering clothing. Appropriate hand protection (e.g. gloves, barrier cream) is recommended for workers who suffer from dermatitis or sensitive skin. Wash hands at the end of each work session. Remove and wash soiled clothing.

8.3.3 Respiratory Protection

When engineering and work practice controls are not feasible, while they are being implemented, or when they do not reduce silica levels below OSHA PELs, employers must provide workers with respirators. Whenever respirators are used, the employer must have a respiratory protection program that meets the requirements of OSHA's Respiratory Protection standard (29 CFR 1910.134). This program must include proper respirator selection, fit testing, medical evaluations, and training. See, OSHA's Respiratory Protection eTool, available at www.osha.gov/SLTC/etools/respiratory/index.html

9. PHYSICAL AND CHEMICAL PROPERTIES

Appearance	White, gray, or tan granular powder
Odor	Odorless
Odor Threshold	Not applicable
pH:	Water dispersions are neutral; pH 6 - 8
Specific Gravity:	2.65 g/cc
Melting Point:	3110°F/1710°C
Freezing Point:	Not applicable
Boiling Point:	4046°F/2230°C
Flashpoint:	Not applicable
Flammability:	Noncombustible
Flammable or Explosive	
Limits:	Not applicable
Vapor Pressure:	Not detectable
Vapor density:	Not applicable
Relative Density:	Not applicable
Solubility:	Dissolves in hydrofluoric acid and produces a corrosive gas, silicon tetrafluoride
Water Solubility:	Negligible
Partition Coefficient	
n-octanol/water:	Not applicable
Autoignition Temperature:	Not applicable
Decomposition Temperature:	Will not decompose
Viscosity:	Not applicable

SAFETY DATA SHEET

10. STABILITY AND REACTIVITY

10.1 Reactivity

Stable and inert.

10.2 Chemical Stability

Will not decompose or react with containers or environmental materials

10.3 Possibility of hazardous reactions

Reacts only with powerful oxidizing agents such as fluorine, chlorine trifluoride, and oxygen difluoride which may cause fires. If crystalline silica (quartz) is heated to more than 870°C, it can change to tridymite crystalline silica; and if crystalline silica (quartz) is heated to more than 1470°C, it can change to cristobalite crystalline. The OSHA PEL for respirable tridymite and cristobalite is one-half of the OSHA PEL for crystalline silica (quartz).

10.4 Conditions to avoid

None.

10.5 Incompatible materials

Contact with powerful oxidizing agents such as fluorine, chlorine trifluoride and oxygen difluoride, which may cause fires.

10.6 Hazardous Decomposition Products

None. Will not decompose.

11. TOXICOLOGICAL INFORMATION

11.1 Likely routes of exposure

The relevant route for occupational exposure is by inhalation.

11.2 Symptoms related to the physical, chemical and toxicological characteristics

Dry chronic cough, sputum production, shortness of breath, wheezing, and reduced pulmonary function.

11.3 Delayed and immediate effects and also chronic effects from short- and long-term exposure

11.3.1 Short-term exposure

Acute silicosis can occur within a few weeks to months after inhalation exposure to extremely high levels of respirable crystalline silica. Acute silicosis causes decreased lung function and can result in heart disease secondary to the lung disease: heart failure and cor pulmonale. Death from acute silicosis can occur within months to a few years of disease onset, and persons with acute silicosis are at high risk of contracting other lung diseases including tuberculosis, atypical mycobacterial infections, and fungal superinfections. Quantitative information on the level of exposure that causes acute silicosis is not available, but available information indicates those levels are far in excess of permissible exposure limits. Animal studies also suggest that pulmonary reactions of rats to short-duration exposure to freshly fractured silica mimic those seen in acute silicosis in humans.

Accelerated silicosis results from exposure to high levels of airborne respirable crystalline silica, and usually occurs within 2 to 10 years of initial exposure. Accelerated silicosis causes decreased lung function and can result in heart disease secondary to the lung disease. Accelerated silicosis has a rapid, severe course and persons with this condition are at high risk of contracting other lung diseases including tuberculosis, atypical mycobacterial infections, fungal superinfections, and lung cancer. Quantitative information on the level of exposure that causes accelerated silicosis is not available, but available information indicates those levels are substantially in excess of permissible exposure limits.

SAFETY DATA SHEET

11.3.2 Long term exposure

Chronic silicosis generally occurs after 10 years or more of inhalation exposure to respirable crystalline silica at levels below those associated with acute and accelerated silicosis. Chronic silicosis in most cases is a slowly progressive disease resulting in decreased lung function and can result in heart disease secondary to the lung disease. Its effects are disabling and may lead to death. Persons with chronic silicosis are at high risk of contracting other lung diseases including tuberculosis, atypical mycobacterial infections, fungal superinfections, and lung cancer. On September 12, 2013, OSHA published a preliminary quantitative risk assessment concluding that the available evidence indicates that employees exposed to respirable crystalline silica well below the current PELs are at increased risk of lung cancer mortality and silicosis.

Chronic obstructive pulmonary disease, COPD, including chronic bronchitis and emphysema, occurs in silica-exposed workers, including those who do not develop silicosis. Respirable crystalline silica exposure and smoking may be synergistic for COPD, that is, there is evidence that the combined effect of exposure to respirable crystalline silica and smoking may be greater than additive.

Respirable crystalline silica is recognized by OSHA, NTP and IARC as a cause of lung cancer. Respirable crystalline silica is an independent risk factor from smoking for lung cancer. Respirable crystalline silica exposure and smoking may be synergistic for lung cancer, that is, there is some evidence that the combined effect of exposure to respirable crystalline silica and smoking may be greater than additive.

There is substantial evidence suggesting an association between exposure to inhaled respirable crystalline silica and increased risks of renal (kidney) and systemic autoimmune disease (scleroderma, rheumatoid arthritis, and systemic lupus erythematosus).

11.4 Numerical measures of toxicity (such as acute toxicity estimates)

Crystalline silica is not acutely toxic. Reliable numerical measures of chronic toxicity do not exist.

12. ECOLOGICAL INFORMATION

12.1 Ecotoxicity (aquatic and terrestrial, where available)

Crystalline silica (quartz) is ubiquitous in the natural environment. It is not ecotoxic; i.e., no data exists that demonstrate or suggests that crystalline silica (quartz) is toxic to animals, microorganisms, or plants.

12.2 Persistence and degradability

Because of its low solubility and slow rate of solution, crystalline silica (quartz) is persistent except on a geologic time-scale.

12.3 Bioaccumulative potential

Does not bioaccumulate. Some plants, such as gramineae (grasses) and animals such as Demospongiae (siliceous sponges) bioaccumulate silica, but this occurs by absorption of dissolved silica from natural waters.

12.4 Mobility in soil

Immobile in soil.

12.5 Other adverse effects

None.

SAFETY DATA SHEET

13. DISPOSAL CONSIDERATIONS

13.1 Waste Disposal Method

Disposed material is not a hazardous waste. Where possible, recycling is preferable to disposal. Dispose in accordance with local, regional and national regulations.

13.2 Container Handling and Disposal

Avoid airborne dust generation from residues in packaging, and use suitable engineering controls and personal protection measures. Store used packaging in enclosed receptacles. Dispose of containers, residues and unused contents accordance with local, regional and national regulations

14. TRANSPORTATION INFORMATION

14.1 UN number

None. Not a regulated material for transportation purposes.

14.2 UN proper shipping name

None. Not a regulated material for transportation purposes.

14.3 Transport hazard class(es)

None. Not a regulated material for transportation purposes.

14.4 Packing group, if applicable

Not applicable.

14.5 Environmental hazards

None.

14.6 Transport in bulk (according to Annex II of MARPOL 73/78 and the IBC Code)

Not applicable.

14.7 Special precautions

Do not breathe dust. Wash thoroughly after handling.. Do not eat, drink or smoke when using this product. Avoid generating airborne dust during loading and unloading. Use suitable engineering controls and personal protection measures. Handle packaged products carefully to prevent accidental bursting.

15. REGULATORY INFORMATION

15.1 Toxic Substances Control Act (TSCA) status

Crystalline silica (quartz) is listed on the EPA TSCA inventory under the CAS No 14808-60-7.

15.2 Resource Conservation and Recovery Act (RCRA) status

Disposed product is not a hazardous waste under RCRA.

15.3 Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA) status

No CERCLA Reportable Quantity has been established for any ingredient in this product.

15.4 Emergency Planning and Community Right to Know Act (SARA Title III) status

Not an Extremely Hazardous Substance under §302. Not a Toxic Chemical under §313. Hazard Categories under §§311/312: Acute.

15.5 Clean Air Act status

This product is not processed with nor does it contain any Class I or Class II ozone depleting substances.

SAFETY DATA SHEET

15.6 California Proposition 65 status

Crystalline silica (airborne particles of respirable size) is classified as a substance known to the State of California to be a carcinogen.

15.7 Massachusetts Toxic Use Reduction Act status

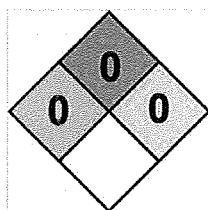
Silica, crystalline (respirable size, <10 microns) is "toxic" for purposes of the Massachusetts Toxic Use Reduction Act.

15.8 Pennsylvania Worker and Community Right to Know Act status

Quartz is a hazardous substance, but it is not a special hazardous substance or an environmental hazardous substance under the Pennsylvania Worker and Community Right to Know Act.

16. OTHER INFORMATION

16.1 NFPA 704: Standard System for the Identification of the Hazards of Materials for Emergency Response (Fire Diamond)



THE INFORMATION ON THIS SAFETY DATA SHEET IS BELIEVED TO BE ACCURATE AND IT IS THE BEST INFORMATION AVAILABLE TO AGSCO CORPORATION. THIS DOCUMENT IS INTENDED ONLY AS A GUIDE TO THE APPROPRIATE PRECAUTIONS FOR HANDLING A HAZARDOUS SUBSTANCE BY PERSON TRAINED IN HAZARDOUS SUBSTANCE HANDLING. AGSCO CORPORATION MAKES NO WARRANTY OF MERCHANTABILITY OR ANY OTHER WARRANTY, EXPRESS OR IMPLIED, WITH RESPECT TO SUCH INFORMATION OR THE PRODUCT TO WHICH IT RELATES, AND WE ASSUME NO LIABILITY RESULTING FROM THE USE OR HANDLING OF THE PRODUCT TO WHICH THIS SAFETY DATA SHEET RELATES. USERS AND HANDLERS OF THIS PRODUCT SHOULD MAKE THEIR OWN INVESTIGATIONS TO DETERMINE THE SUITABILITY OF THE INFORMATION PROVIDED HEREIN FOR THEIR OWN PURPOSES.

FILTER

FILTRATION SANDS TYPICAL ANALYSIS U.S. SIEVE SIZES - PERCENT RETAINED



4/10	8/12	8/16	12/20	16/30	20/40	30/70
Sieve %	Sieve %	Sieve %	Sieve %	Sieve %	Sieve %	Sieve %
4 0		6 0.0	8 0.0	12 0.0	16 0.0	30 0.5
6 7.6	8 4.5	8 3.0	12 3.2	16 1.1	20 2.0	40 41.6
7 22.3	10 51.7	12 61.9	16 55.0	20 64.5	30 51.0	50 45.2
8 45.1	12 38.3	14 26.0	18 26.0	25 25.0	35 33.0	60 6.5
10 21.9	14 5.0	16 6.3	20 12.5	30 8.0	40 11.4	70 3.0
12 2.6	16 0.4	20 2.3	30 3.1	40 1.3	50 2.5	100 2.0
Pan 0.5	Pan 0.1	Pan 0.5	Pan 0.2	Pan 0.1	Pan 0.1	Pan 1.2
100%	100%	100%	100%	100%	100%	100%
UC 1.50	UC 1.50	UC 1.50	UC 1.50	UC 1.40	UC 1.50	UC 1.50
ES 2.10-2.25MM	ES 1.70-2.00MM	ES 1.39-1.42MM	ES .92-.95MM	ES .74-.77MM	ES .45-.48MM	ES .20-.35MM

(UC = UNIFORMITY COEFFICIENT/ES = EFFECTIVE SIZE)

- Ultimate uniform filter media sand, for economical liquid/solid separation/water wells.
- Highest quality silica sand; inert; odorless, pure, natural and without flat elongated grains. Free of silts, clays or organic impurities, virtually insoluble.
- Consistent uniformity in grain shape and size.
- Will not impart taste, odor or color.
- Meets or surpasses all AWWA recommendations for filter sand. (AWWA B 100-96)
- Perfect for Swimming Pool filters.
- Ideal for Environmental Monitoring wells.



CLASSIFIED BY
UNDERWRITERS LABORATORIES INC.
IN ACCORDANCE WITH
STANDARD ANSI/NSF 61-1994
5N16
Drinking Water Systems Components

Centra-flo™ Sand Specification

Silica Sand

Typical Physical Properties

Fusion Point	3135 °F
Hardness	7 Mohs Scale
Grain Shape	Spherical
Bulk Density	Approx. 1.57 g/cm ³
pH	6.8 to 7.2
Sphericity (Krumbein)	0.6 to 0.7
Roundness (Krumbein)	0.6 to 0.7

Typical Chemical Analysis

Silicon Dioxide	98.2%
Aluminum Oxide	0.72%
Calcium Oxide	0.56%
Iron Oxide	0.07%
Magnesium Oxide	0.13%
Manganese Oxide	0.03%
Potassium Oxide	0.10%
Sodium Oxide	0.03%
Titanium Dioxide	0.07%
Loss on Ignition	<u>0.09%</u>
	100.00%

Typical Sieve Analysis - #8-20 and Coarser

<u>U.S. Sieve</u>	<u>#4-8</u>	<u>#8-12</u>	<u>#10-20</u>	<u>#12-20</u>
6	1.0%			
7	38.6			
8	53.5	6.0%		
10	6.4	54.0	1.0%	
12	0.5	35.3	16.0	2.1%
14		4.7	26.3	24.4
16		T	31.4	30.6
18			21.4	28.6
20			3.5	13.3
25			0.4	1.0
30				0.0
	100.0	100.0	100.0	100.0

#13D



MEMORANDUM

DATE: 9 OCTOBER 2024

TO: PATRICK J. HINES, PRINCIPAL

FROM: QUINN M. MULLARKEY, E.I.T., PROJECT ENGINEER

Cc: GILBERT PIAQUADIO, SUPERVISOR
MICHAEL W. WEEKS, MHE PRINCIPAL
JAMES OSBORNE, TOWN ENGINEER
DANIEL BERTOLA, SUPERVISING WATER OPERATOR
RONALD CLUM, TOWN ACCOUNTANT
MARK TAYLOR, TOWN ATTORNEY

REFERENCE: TOWN OF NEWBURGH
DELAWARE AQUEDUCT TAP PLANT VALVE INSTALLATION
M.C. ELECTRICAL SYSTEMS, INC. SCOPE

ATTACHMENTS: M.C. ELECTRICAL QUOTE

As discussed, please find the attached quote from M.C. Electrical Systems, Inc. to temporarily relocate an existing panel board to allow for TAM Enterprises to complete the valve install work at the Delaware Aqueduct Tap Plant. The provided quote is for \$3,500. I believe this fee is reasonable for the scope, and suggest the Town award this work to M.C. Electrical Systems, Inc.

It should be noted that M.C. Electrical also provided us with a quote in the amount of \$9,000 to reinstall the relocated panel and reconnect all equipment that is in the panel board once the valve work is complete. M.C. Electrical will also be providing us with a separate quote to complete all necessary wiring for the new valve and controller, once the shop drawing for the valve has been reviewed. MHE recommends the Town award this additional scope of work at a later date.

NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

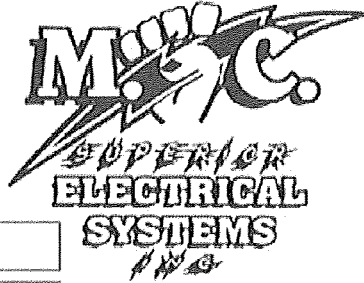
111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhpea@mhepc.com

Estimate

P.O. BOX 453
WALDEN, NEW YORK
12586

PHONE 845-778-6565
FAX 845-778-6560

Date	Estimate #
10/7/2024	3816



Name / Address
M.H.E. 33 AIRPORT CENTER DRIVE NEW WINDSOR, NY 12553

Terms
Net 30

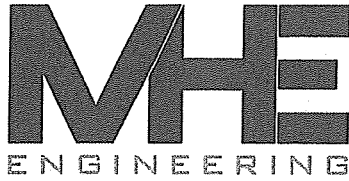
Description	Total
<p>"TOWN OF NEWBURGH"- DAT PLANT INFLUENT VALVE PROJECT</p> <p>THE FOLLOWING PRICE QUOTES ARE BASED ON OUR SITE VISIT ON 9/18/24 AND DRAWINGS DATED 6/5/24.</p> <p>CONSISTING OF :</p> <p>DEMO :</p> <p>~ DISCONNECT CONDUITS & WIRE TO THE UNI-STRUT STANCHION / BACK BOARD, FLOW METERS, SOLENOIDS, AND SOLENOID CONTROL BOX.</p> <p>~ REMOVE THE BACKBOARD AS A COMPLETE UNIT & STORE IT ON SIGHT.</p> <p>~ ONCE THE BACKBOARD IS REMOVED, REMOVE THE VERTICAL CONDUIT RISERS AS WELL.</p> <p>~ PROVIDE A MAN LIFT TO COMPLETE THE DEMO.</p>	<p>3,500.00</p>

Thank you for the opportunity to bid on this job.	Total
---	--------------

*****PRICING SUBJECT TO COMMODITY PRICE ESCALATION**

Pricing for the above Estimate is valid for 30 days.

Signature



#13E

9 October 2024

Town of Newburgh
1496 Route 300
Newburgh, NY 12550

**RE: Newburgh Recreation Center
Change Order 04 – Site Electrical per RFI-14**

Summary: It was discovered that the electrical panel from the existing restroom building to be demolished serves the basketball courts, pavilion, guard shack and parking lot lights. Change Order provides re-feeding of these facilities with a new 400AMP electrical panel and all associated excavation and backfill.

Change Order Amount: \$39,883.00

Respectfully submitted,

MHE Engineering, D.P.C.

A handwritten signature in black ink, appearing to read 'Michael J. Lamoreaux'.

Michael J. Lamoreaux, P.E.
Principal

NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhempa@mhepc.com

CHANGE ORDER NO.: 04

Owner:	Town of Newburgh	Owner's Project No.:	
Engineer:	MHE Engineering, D.P.C.	Engineer's Project No.:	21-135
Contractor:	O'Connor Company	Contractor's Project No.:	
Project:	Newburgh Recreation Center Project		
Contract Name:	General Construction		
Date Issued:	9/19/24	Effective Date of Change Order:	9/19/24

The Contract is modified as follows upon execution of this Change Order:

Description:

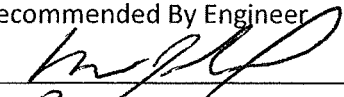
Relocation of existing 400AMP service to facilitate demolition of existing bathrooms.

Attachments:

O'Connor Change Order #2

Change in Contract Price	Change in Contract Times [State Contract Times as either a specific date or a number of days]
Original Contract Price: \$ <u>12,106,100.00</u>	Original Contract Times: Substantial Completion: <u>480 Days</u> Ready for final payment: <u>510 Days</u>
Increase from previously approved Change Orders No. 1 to No.3: \$ <u>28,628.00</u>	[Increase] [Decrease] from previously approved Change Orders No.1 to No.1 [Number of previous Change Order]: Substantial Completion: <u>N/A</u> Ready for final payment: <u>N/A</u>
Contract Price prior to this Change Order: \$ <u>12,134,728.00</u>	Contract Times prior to this Change Order: Substantial Completion: <u>N/A</u> Ready for final payment: <u>N/A</u>
Increase this Change Order: \$ <u>39,883.00</u>	[Increase] [Decrease] this Change Order: Substantial Completion: <u>N/A</u> Ready for final payment: <u>N/A</u>
Contract Price incorporating this Change Order: \$ <u>12,174,611.00</u>	Contract Times with all approved Change Orders: Substantial Completion: <u>480 Days</u> Ready for final payment: <u>510 Days</u>

Recommended by Construction Manager
By: Diego Frangiamone
Title: Clerk of the Work
Date: 9/24/24

Recommended By Engineer

PRINCIPAL
10/9/24

Authorized by Owner
By: _____
Title: _____
Date: _____

Accepted by Contractor
Ken Welman
Sr. Project Manager
9/24/2024



312 Fields Drive
 Aberdeen, NC 28315
 Phone 910 944 0600 Fax
 910 944 1888

**Additional Work/Change
 Order Request**

Carson Co #5
 9/10/2024
 Perreca Co #2
 9/10/2024 REV-1

To: MHE
 From: Ken Welman

Date: 9/19/2024

Purpose of request:

- Required by Code Official
- Requested By Owner
- Requested by Architect
- Other Allowance

Change Order Number: GC CO 2

Project: Newburgh Recreation Building Chadwick Lake Park

Change Order Request

RFI-14 CO to Re-feed the existing Guard shack , parking lot lights ,pavilion lights and Basketball Courts with a new 400Amp Panel

Completely disconnect the existing Park restroom building so we can beging demolition

Excludes: any costs incurred by Central Hudson

Carson	\$9,490
Perreca	\$27,380
SUBCONTRACTOR TOTAL CHANGE COST:	\$36,870
O'Connor Insurance (1%):	\$369
O'Connor Bonding (2%):	\$745
O'Connor OH & P (5%):	\$1,899
	<u>\$39,883</u>

TOTAL CHANGE COST: \$39,883

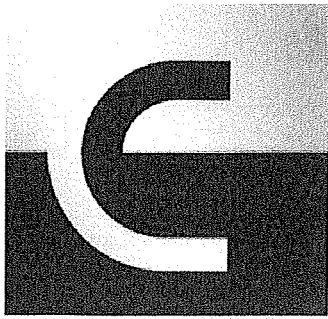
Approval:

Approved:	Denied:	Requested Additional Info:
-----------	---------	----------------------------

Owner Comments:

CHANGE ORDER REQUEST

5



Title: Additional Electrical Trenching Associated with RFI-14

Project Name: Newburgh Recreation Center

Project Address: North Plank Road
Newburgh, NY 12550

COR Date: 08/04/2024

Carson Corporation Job Number: 2697

Customer Job Number:

Customer Reference Number:

Carson Corporation Information

Carson Corporation
1 New Jersey 94
Fayette, NJ 07848
Phone: (973)-579-4100

Customer Information

O'Connor Company
312 Fields Drive
Aberdeen, NC 28315
Phone: (910)-944-1888

Description of Change Order Request

Additional electrical excavation & backfill costs associated with RFI-14 Existing Restroom Demo.

Labor

Description	Qty (HR)	Unit (HR)	Rate (HR)	Total Cost
Superintendent	6	ST	\$156.90	\$941.40
Foreman - Zone A	12	ST	\$112.19	\$1,346.28
Operator	12	ST	\$121.52	\$1,458.24
Laborer - Zone A	12	ST	\$98.45	\$1,181.40
Hours Subtotals: ST: 42			Total Labor:	\$4,927.32

Material

Description	Qty of Material	Unit of Measure	Rate	Total Cost
Sand Bedding	60	TN	\$20.16	\$1,209.60
			Total Material:	\$1,209.60

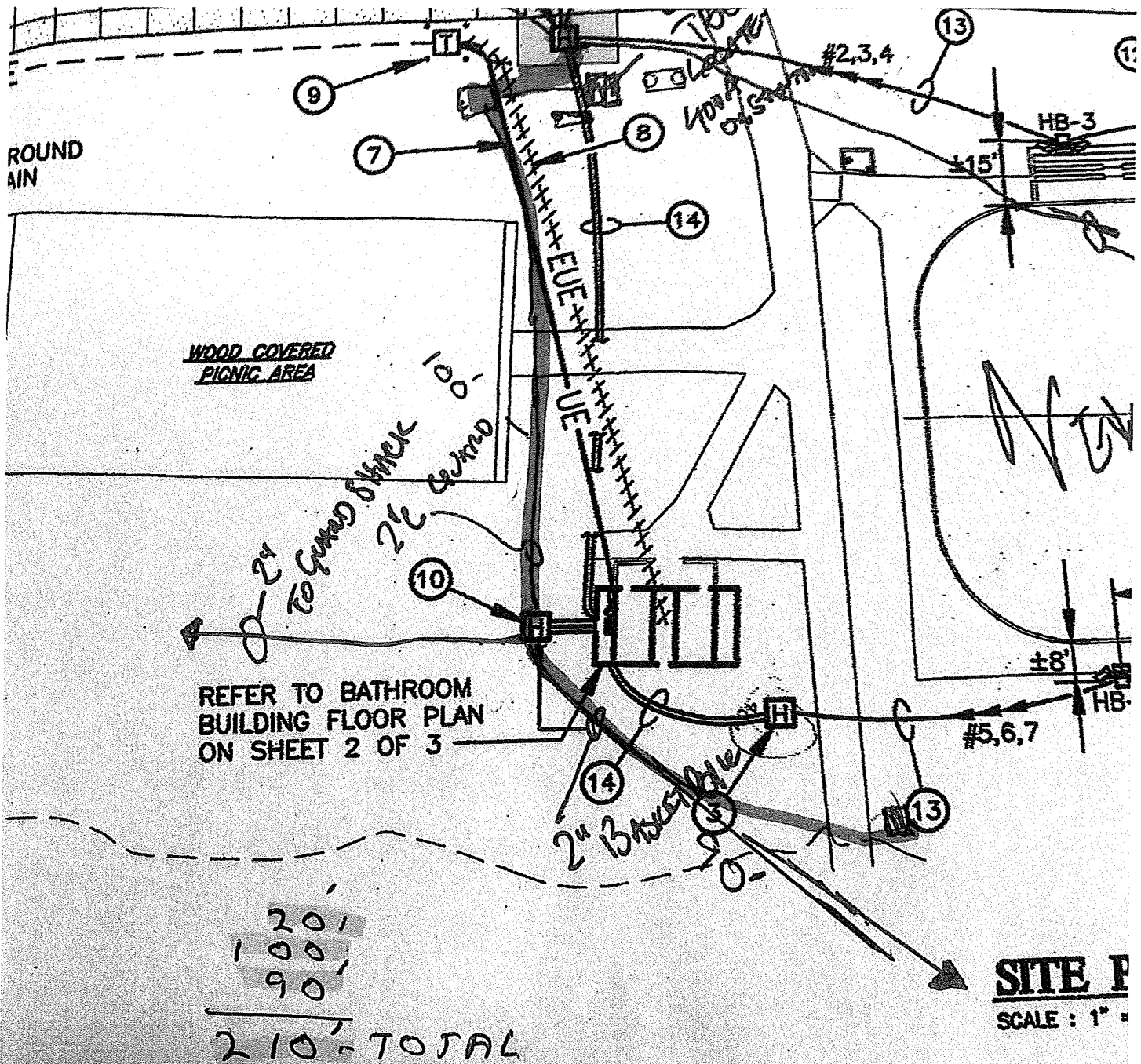
Equipment

Description	Qty of Equipment	Unit of Measure	Rate	Total Cost
Excavator - CAT 314-316	12	HR	\$120.00	\$1,440.00
Compaction Roller - Trench - Wacker Trench Roller	12	HR	\$56.25	\$675.00
			Total Equipment:	\$2,115.00

Subtotal				\$8,251.92
Tax Rate (Materials)			0.000%	\$0.00
Mark Up Rate (Subtotal)			0.000%	\$0.00
OH&P (Subtotal)			15.000%	\$1,237.79
Requested Total				\$9,489.71

Terms & Conditions

- Pricing is valid for 30 days.
- Terms and conditions of the subcontract agreement apply.



NORTH

**RAM-TECH
ENGINEERS, P.C.
CONSULTING ENGINEERS
SYRACUSE, NEW YORK**

**Kotz & Associates
LAND AND
PLANNING
LANDSCAPE**
200 WA
SYRACUSE, NY
PHONE: (315) 435-1111



REQUEST FOR INTERPRETATION

Project: Newburgh Recreation Building Chadwick Lake

R.F.I. Number: 14

To: MHE

From: O'Connor Co.

Date: 7/18/2024

Re: Existing Restroom Demo

A/E Project Number: _____

Contract For: _____

Specification Section: _____

Paragraph: _____

Drawing Reference: C-101

Detail: _____

Request:

Site drawing C-101 shows the existing restrooms being removed we have discovered that all the power for the grounds also comes out of that building as well. The electrical from the restroom building serves the basketball courts , pavilion, guard shack , parking lot lights and possibly other things. Please provide direction going forward as we will need to remove in order to complete that area of the project.

Signed by: Ken Welman

Date: 7/18/2024

Response:

- For restroom building, disconnect electrical service from building and make safe for removals. Coordinate utility disconnect with Central Hudson. Remove all existing panelboards, electrical gear, switches, etc. Remove all receptacles, lighting fixtures, light switches. Remove all conductors/conduit back to source. Owner shall have right of first refusal for removed lighting fixtures.
- For existing to remain parking lot lighting circuit, pull circuit back to handhole highlighted in attached drawing. Retain underground circuit from handhole to fixtures.
- For existing to remain basketball court lighting circuit, pull circuit back to handhole highlighted in attached drawing. Retain underground circuit from handhole to fixtures
- In new building, provide (2) new astronomical time clock switches (Wattstopper RT-200, or approved equal) to control parking lot lighting and basketball court lighting. Provide new dedicated 120V, 20A circuit from Panel LP for each. Extend circuits from building to handholes and splice.

Attachments

Response From: Jade Stone Engineering

To: _____

Date Rec'd: _____

Date Ret'd: _____

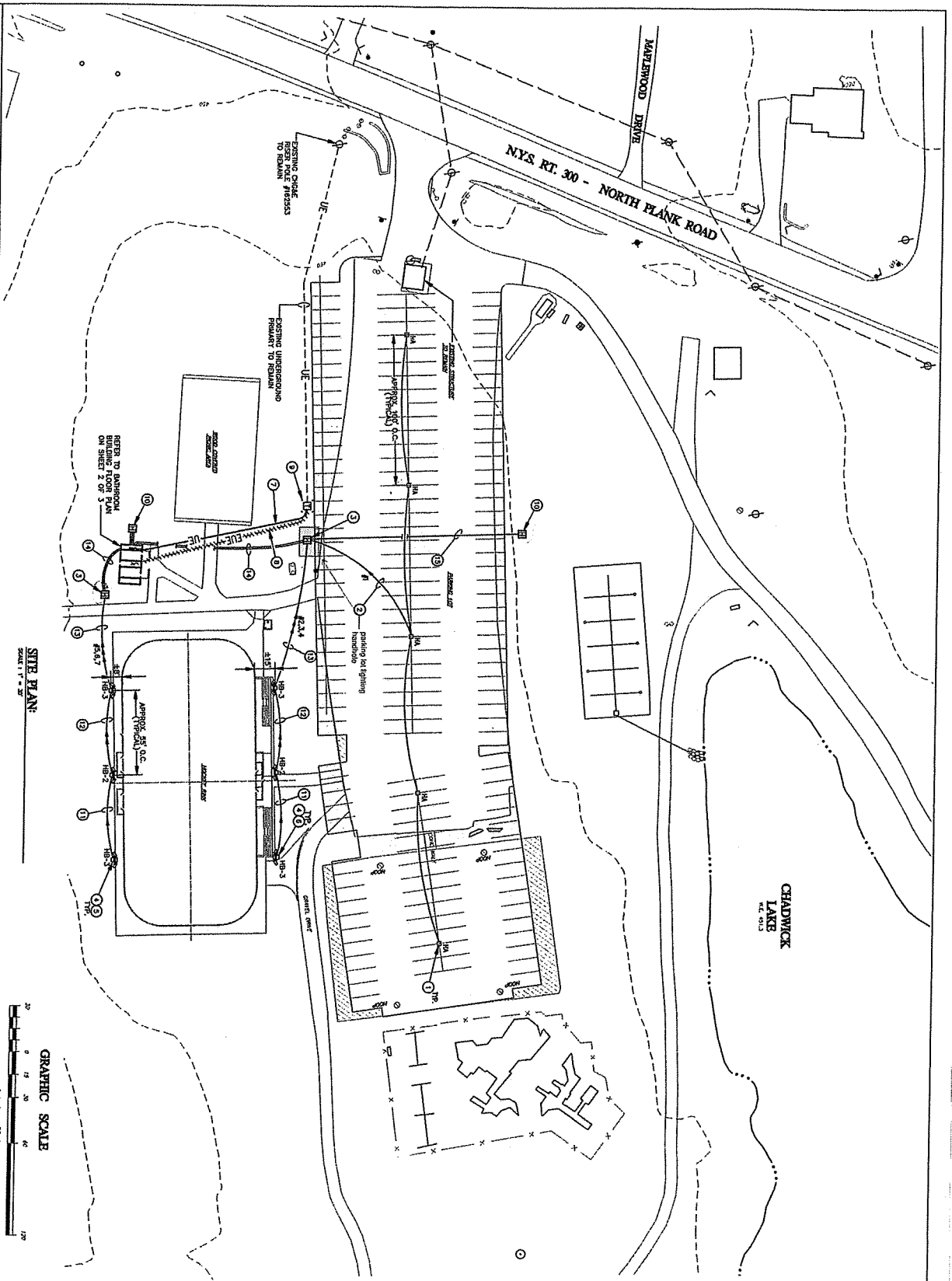
Signed by: Shane Garrabrant

Date: 7/18/24

Copies:

Owner
 File

Consultants _____



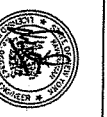
NOTES:
 SITE PLAN PER SITE PLAN AND NOTES CHADWICK LAKE PARKING
 IMPROVEMENTS PROJECT PREPARED BY MCCOY, HAUSER AND
 ASSOCIATES, AUGUST 15, 2003. CONTRACTOR SHALL VERIFY
 ACCURACY OF THIS AREA.



RAM-TECH
 ENGINEERS, P.C.
 CONSULTING ENGINEERS
 SYRACUSE, NEW YORK

Kotz & Associates
 LAND AND RECREATION
 PLANNING DESIGN
 LANDSCAPE ARCHITECTURE
 SYRACUSE, NEW YORK 13204
 PHONE (315) 435-1234
 FAX (315) 435-1433

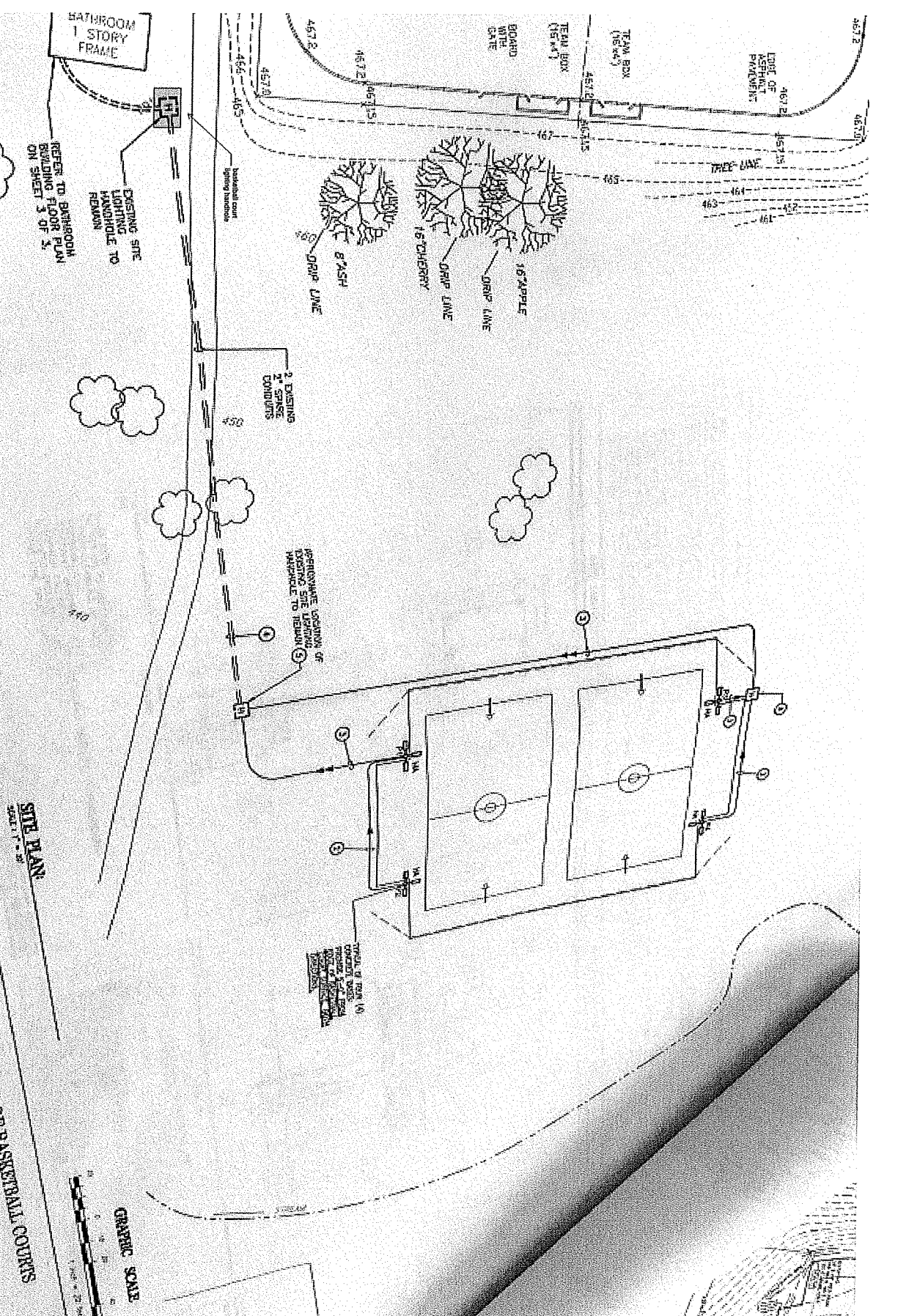
LIGHTING AND ELECTRICAL IMPROVEMENTS
 AT
 CHADWICK LAKE PARK
 TOWN OF NEWBURGH, NEW YORK



SCALE:
 1" = 30'-0"
 DRAWN: GFG
 CHECKED: AIB
 DATE: NOVEMBER 1, 2005

ELECTRICAL
 SITE PLAN
 PROJECT NO. 04154
 SHEET 1 OF 3

- DRAWING NOTES:**
- A. PROVIDE ALL EXCAVATION, TRENCHING, CONCRETE WORK, REINFORCEMENT, AND GRADING REQUIRED FOR WORK SHOWN. PROVIDE LOCATIONS SHOWN. REFER TO REINFORCING BAR LEVEL IN SHEET 1 OF 3.
 - B. ALL EXISTING UTILITIES ARE INDICATED AS ACCURATELY AS POSSIBLE FROM EXISTING SURVEY, DRAWINGS, AND OTHER DATA. CONTRACTOR SHALL VERIFY ALL UTILITIES AND STRUCTURES SHOWN. VERIFY ALL UTILITIES AND STRUCTURES SHOWN. VERIFY ALL UTILITIES AND STRUCTURES SHOWN. VERIFY ALL UTILITIES AND STRUCTURES SHOWN.
 - C. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND STRUCTURES. MAINTAIN THE EXISTING UTILITIES AND STRUCTURES. MAINTAIN THE EXISTING UTILITIES AND STRUCTURES. MAINTAIN THE EXISTING UTILITIES AND STRUCTURES.
 - D. LOCATIONS SHOWN OF LIGHT POLES, CONDUIT, ETC. ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL LOCATIONS OF POLES.
 - E. ALL EXISTING UTILITIES AND STRUCTURES SHALL BE MAINTAINED UNLESS OTHERWISE NOTED. PROVIDE UTILITY IN ALL AREAS SHOWN.
 - F. UTILITY LIGHTING PERFORMANCE REQUIREMENTS FOR PARKING LOT AND HOOPER PARK AT 10' SQUARE INTERVALS:
 1. Minimum Illuminance: 0.2 FC
 2. Average Uniformed Horizontal Illuminance: 0.2 FC
 3. Minimum Illuminance: 0.2 FC
 4. Maximum Illuminance: 1.5 FC
 5. Minimum Illuminance: 0.2 FC
 6. Maximum Illuminance: 1.5 FC
 7. Minimum Illuminance: 0.2 FC
 8. Maximum Illuminance: 1.5 FC
 9. Minimum Illuminance: 0.2 FC
 10. Maximum Illuminance: 1.5 FC
 11. Minimum Illuminance: 0.2 FC
 12. Maximum Illuminance: 1.5 FC
 13. Minimum Illuminance: 0.2 FC
 14. Maximum Illuminance: 1.5 FC
 15. Minimum Illuminance: 0.2 FC
 16. Maximum Illuminance: 1.5 FC
- KEYED NOTES:**
1. PROVIDE 24" SQUARE 1/2" LUMP REINFORCED TYPED CONCRETE FOOTING FOR ALL LIGHT POLES. PROVIDE 24" SQUARE 1/2" LUMP REINFORCED TYPED CONCRETE FOOTING FOR ALL LIGHT POLES. PROVIDE 24" SQUARE 1/2" LUMP REINFORCED TYPED CONCRETE FOOTING FOR ALL LIGHT POLES.
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 13. PROVIDE 24" SQUARE 1/2" LUMP REINFORCED TYPED CONCRETE FOOTING FOR ALL LIGHT POLES. PROVIDE 24" SQUARE 1/2" LUMP REINFORCED TYPED CONCRETE FOOTING FOR ALL LIGHT POLES. PROVIDE 24" SQUARE 1/2" LUMP REINFORCED TYPED CONCRETE FOOTING FOR ALL LIGHT POLES.
 14. PROVIDE 24" SQUARE 1/2" LUMP REINFORCED TYPED CONCRETE FOOTING FOR ALL LIGHT POLES. PROVIDE 24" SQUARE 1/2" LUMP REINFORCED TYPED CONCRETE FOOTING FOR ALL LIGHT POLES. PROVIDE 24" SQUARE 1/2" LUMP REINFORCED TYPED CONCRETE FOOTING FOR ALL LIGHT POLES.
 15. PROVIDE ONE 2" CONDUIT WITH PULLBOX FOR ROUTE USE.



SITE PLAN
SHEET 1 OF 3

LIGHTING OF BASKETBALL COURTS
AT
PARK



Date: 6/12/24



Customer: Carson Corp.

Project: 1702 N. Plank Rd,
Newburgh NY

845-990-ROCK (7625)
845-422-8293 | Montgomery, NY
845-422-8266 | Slate Hill, NY
dispatch@adenaggregate.com

Delivered Material Prices: - Grosso & Bloomingburg

Manufactured Sand (750 Ton)	\$20.16 / Ton
-----------------------------	---------------

**** Aden Grosso Materials Is A NYS Approved Source Of Material – Source 8-67R ****

**** Aden Javelin Mine Is A NYS Approved Source Of Material – Source 8-87R ****

**** All Of Our Material Is Scaled Out On NYS Certified Truck Scales ****

Prices Effective Until 12-31-24 - Fuel Surcharge Added If Fuel Goes Above \$5.75/ Gallon

Thank You,

Scott Lesinski

Aden Aggregate Sales

PERRECA ELECTRIC CO. INC

520 BROADWAY
PO BOX 2530
NEWBURGH NY 12550
(845) 562-4080

PROPOSAL SUBMITTED TO:

Name O'Connor Company
Address 11828 US HWY 15/501
Aberdeen, NC 28315

Date September 10, 2024
Phone 1-774-265-5198
Fax

Contact: Nick Miller

Project Name: Town of Newburgh Rec Center - Relocate 400AMP Service

Whereby submit specifications and estimates for:

Furnish labor & materials to relocate existing 400AMP service to facilitate demolition of room building and install of new underground utilities.

Specifications

- 1. Excludes excavation, underslab trenching, bedding, backfill and restoration
2. Erect new 400AMP Site panel and meter to feed site
3. Re-feed all existing site lighting, basketball courts lighting & guard shack
4. Excludes utility & consumption fees
5. Sales tax & Bond not included
6. Work to take place during normal work hours

Table with 4 columns: Item, Amount, Percentage, Total. Rows for Labor (15,820.00, 10%, 17,402.00), Materials (9,071.00, 10%, 9,978.10), and a total of 27,380.10.

I propose hereby to furnish material and labor for the sum of \$ 27,380.00
TWENTY SEVEN THOUSAND THREE HUNDRED EIGHTY and 00/100 dollars

Payment to be made as follows: Upon Completion

Work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become a charge over and above the estimate. All agreements contingent upon no accidents, or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance.

Authorized Signature Spyros Manouvelos

Spyros Manouvelos

This proposal may be withdrawn by us if not accepted within 30 days.

Acceptance of Proposal - The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to proceed with the work as specified. Payment will be made as outlined above.

Name of Acceptance

Signature



Takeoff

Vendor: TARGET Labor Level: LABOR 1 30 Jul 2024 15:02:39

Phase: CHANGE ORDERS
 SubPhase: CO 01 RELOCATE 400AMP SERVICE

Item #	Qty	U/M	Q/M	Size	Description	Material Unit	Material Result
10007	0.00	FT	M	3	GRC	14.4136	288.27
240051	2.00	EA	M	3	GRC STRUT CLAMP GALV	1.5984	3.20
240029	20.00	FT	M	1 5/8" x 1 5/8"H	U-STRUT CHNL SGL-12G SLOT GALV	2.5178	50.36
240027	20.00	FT	M	1 5/8" x 7/8"H	U-STRUT CHNL SGL-12G SLOT GALV	3.1485	62.97
240199	10.00	EA	M	3/8 -16EG	U-STRUT SPRING NUT (1 5/8H)	0.9800	9.80
160172	20.00	EA	M	3/8"	FLAT WASHER (PLT)	0.1500	3.00
160349	20.00	EA	M	3/8-16 x 1"	MACHINE SCREWS (SS)	0.3500	7.00
160429	40.00	EA	M	3/8-16	HEX NUTS (SS)	0.3500	14.00
10098	30.00	FT	M	4	PVC SCH 80	9.2562	277.69
20105	1.00	EA	M	4	PVC SCH 40 45-DEG ELBOW 36"R	70.0027	70.00
30307	5.00	EA	M	4	PVC FEMALE ADAPTER	5.8317	29.16
40124	3.00	EA	M	4	LOCKNUT	40.1957	120.59
170637	2.00	EA	M	4	MEETER HUB	47.1326	94.27
300036	1.00	EA	M	10 x 10	WIREWAY 4 FT N3R RAIN-TTTE	590.0004	590.00
300035	1.00	EA	M	10 x 10	WIREWAY 3 FT N3R RAIN-TTTE	527.9520	527.95
10063	10.00	FT	M	3	PVC SCH 40	3.9005	39.01
30293	6.00	EA	M	3	PVC MALE ADAPTER	3.8438	23.06
40122	6.00	EA	M	3	LOCKNUT	8.7005	52.20
170121	1.00	EA	M	400A MCB	DISTRIBUTION PANELBOARD W/BKRS	2,675.0000	2,675.00
500140	12.00	EA	M	3	ENCLOSURE HOLE PUNCH	0.0000	0.00
500142	12.00	EA	M	4	ENCLOSURE HOLE PUNCH	0.0000	0.00
40180	3.00	EA	M	4	PLASTIC BUSHING	14.2930	42.88
40178	6.00	EA	M	3	PLASTIC BUSHING	9.3396	56.04
850009	1.00	EA	M	3/4 x 8	COPPER GROUND ROD	45.3932	45.39
70050	90.00	FT	M	500	THHN/THWN CU (STR)	23.6512	2,128.61

Perruca Electric Co., Inc. 520 Broadway Newburgh, NY 12550
 Phone: 845-649-4822 Web: www.perruca.com

Phase: CHANGE ORDERS
 SubPhase: CO 01 RELOCATE 400AMP SERVICE

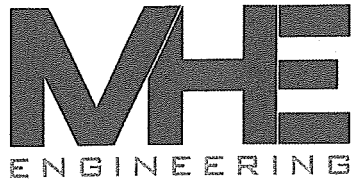
Item #	Qty	U/M	Q/M	Size	Description	Material Unit	Material Result
70122	20.00	FT	M	4.	GREEN THHN CU (GRD 300A)	2.6302	52.60
100063	8.00	EA	M	500	ALUM / CU SPLIT BOLT	65.0214	520.17
30291	6.00	EA	M	2	PVC MALE ADAPTER	1.5396	9.24
10061	300.00	FT	M	2	PVC SCH 40	1.9888	596.63
240049	6.00	EA	M	2	GRC STRUT CLAMP GALV	1.2545	7.53
30287	1.00	EA	M	3/4	PVC MALE ADAPTER	0.5681	0.57
40116	1.00	EA	M	3/4	LOCKNUT	0.9619	0.96
240053	4.00	EA	M	4	GRC STRUT CLAMP GALV	2.2263	8.91
80052	320.00	FT	M	2.	XHHW ALUM	1.7656	565.01
170635	3.00	EA	M	3	METER HUB	33.2196	99.66
Phase Totals:						9,071.70	

Job Totals: **9,071.70**

Perruca Electric Co., Inc.

520 Broadway
 Newburgh, NY 12550

Phone: 845-649-4822
 Web: www.perruca.com



#13F

9 October 2024

Town of Newburgh
1496 Route 300
Newburgh, NY 12550

**RE: Newburgh Recreation Center
Change Order 05 – Rock Removal Overage**

Summary: Excavation and hammering of rock in proposed building utility trenches between 8/03/2024 and 9/06/2024. A total of 18 Cubic Yards of rock removed at the Unit Rate Price of \$165 per Cubic Yard.

Since Bid Contingency Item C-1 for Rock Excavation has already been exhausted, the removed rock is processed as a Change Order.

Change Order Amount: \$2,970.00

Respectfully submitted,

MHE Engineering, D.P.C.

A handwritten signature in black ink, appearing to read 'Michael J. Lamoreaux'.

Michael J. Lamoreaux, P.E.
Principal

NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com



312 Fields Drive
 Aberdeen, NC 28315
 Phone 910 944 0600 Fax
 910 944 1888

**Additional Work/Change
 Order Request**

Carson Co #8
 9/8/2024

To: MHE

Date: 9/16/2024

From: Ken Welman

Purpose of request:

- Required by Code Official
- Requested By Owner
- Requested by Architect
- Other Allowance C-1 overage
- Backup Attached

Change Order Number: GC-07

Project: Newburgh Recreation Building Chadwick Lake Park

Change Order Request

Allowance C-1 rock excavation Allowance Overage 18 CY @165

see backup for exclusions and inclusions

SUBCONTRACTOR TOTAL CHANGE COST: _____

O'Connor Insurance (1%):	\$0
O'Connor Bonding (2%):	\$0
O'Connor OH & P (5%):	\$0
	<u>\$0</u>

TOTAL CHANGE COST: \$2,970

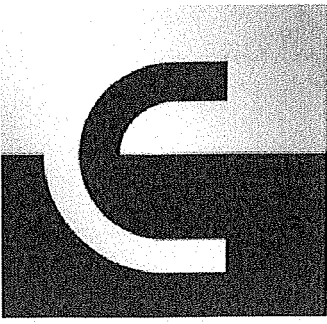
Approval: _____

Approved:	Denied:	Requested Additional Info:
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Owner Comments: _____

CHANGE ORDER REQUEST

8



Title: Rock Excavation 2024-08-03 to 2024-09-06

Project Name: Newburgh Recreation Center

Project Address: North Plank Road
Newburgh, NY 12550

COR Date: 09/08/2024

Carson Corporation Job Number: 2697

Customer Job Number:

Customer Reference Number:

Supplier Information

Carson Corporation

1 New Jersey 94
Lafayette, NJ 07848
Phone: (973)-579-4100

Customer Information

O'Connor Company

312 Fields Drive
Aberdeen, NC 28315
Phone: (910)-944-1888

Description of Change Order Request

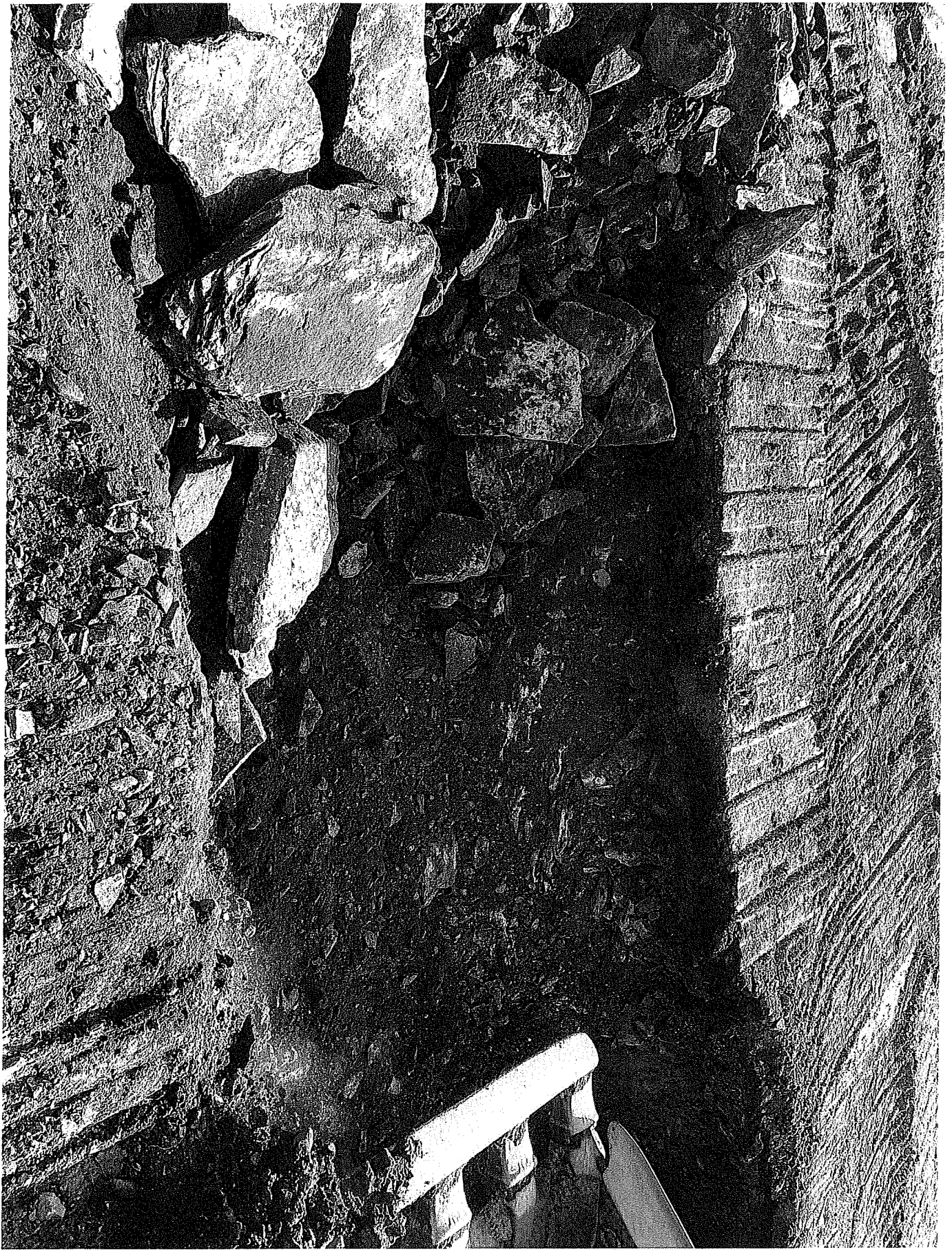
Additional 18 cy of rock excavation that has been completed, above the allowance quantity. Rock excavation volume from 8/03/2024 through 8/16/2024.

Summary

Description	Qty of Other	Unit of Measure	Rate	Total Cost
Rock Excavation - Fractured Rock (Unit Price)	18	CY	\$150.00	\$2,700.00
			Total Other:	\$2,700.00
Subtotal				\$2,700.00
Tax Rate (Materials)			0.000%	\$0.00
Mark Up Rate (Subtotal)			0.000%	\$0.00
OH&P (Subtotal)			0.000%	\$0.00
Requested Total				\$2,700.00

Terms & Conditions

- Pricing is valid for 30 days.
- Terms and conditions of the subcontract agreement apply.









#136

TOWN OF NEWBURGH
TOWN ENGINEER

MEMORANDUM

TO: Gilbert Piaquadio and Town Board

FROM: Patrick J. Hines, Representative – MHE, Engineers for the Town

DATE: 7 October 2024

RE: Cortland Commons
Request for release of Landscape Performance Security
Newburgh Planning Board Project #17-11
Section 9, Block 1, Lot 60

The Town of Newburgh has received a request for a release of the Landscape Performance Security on the subject project, which was posted in 2020. Upon receipt of a request from Gerald Canfield, Code compliance Supervisor, representatives of MHE, field reviewed the existing constructed shopping center to assess the landscape plantings versus the approved plans. Attached is a 3 October 2024 memo from MHE representative. Significant time has elapsed since the landscape plantings were placed on the subject property. Based on a review of the site conditions and the time which the landscaping has been in place on the site we take no exception to the Town releasing the Performance Security.

Our records identify that Landscape Performance and Maintenance Bond #9399N, dated 29 June 2020, in the amount of \$35,259.00 was posted with the Town.

Release of the Landscape Security requires Town Board action.

Enclosures: MHE memo dated 3 October 2024.
Town Attorney letter dated 10 July 2020

Cc: John P. Ewasutyn, Chairman Planning Board
Gerald Canfield, Code Compliance
Jim Osborne, Town Engineer



MEMORANDUM FOR FILE

DATE: 3 October 2024

SUBJECT: CORTLAND COMMONS LANDSCAPE REVIEW

The undersigned conducted a site review of the Cortland Commons shopping center to assess the landscape plantings against the approved plans. During the conducted review, the undersigned found all proposed plantings to be consistent with the approved plans, both in quantity and species proposed. All plantings were observed to be living and healthy.

Based on the conducted review, this office takes no exception to the release of the landscaping performance bond by the Town. Feel free to contact this office should you have any questions or require more information regarding this matter.

Respectfully submitted,

MHE Engineering, D.P.C.

A handwritten signature in black ink, appearing to read 'Brett Sherman', written over a horizontal line.

Brett Sherman CPESC, CESSWI
Staff Designer

NEW YORK OFFICE

33 Airport Center Drive, Suite 202, New Windsor, NY 12553
845-567-3100 | F: 845-567-3232 | mheny@mhepc.com

PENNSYLVANIA OFFICE

111 Wheatfield Drive, Suite 1, Milford, PA 18337
570-296-2765 | F: 570-296-2767 | mhepa@mhepc.com



MEMORANDUM (Corrected)

TO: HON JOSEPH P. PEDI, TOWN CLERK (by e-mail and hand
With originals)
JOHN P. EWASUTYN, PLANNING BOARD CHAIRMAN (by e-mail and hand)

FROM: MARK C. TAYLOR, ATTORNEY FOR THE TOWN

RE: CORTLAND COMMONS (THE JOSEPH G FARRELL IRREVOCABLE TRUST & JG FARRELL REAL ESTATE LLC) STORMWATER MAINTENANCE SECURITY: THE SERVICE INSURANCE COMPANY, INC. STORMWATER PERFORMANCE AND MAINTENANCE BOND NO.9398N DATED JUNE 29, 2020 IN THE AMOUNT OF \$161,432.85; LANDSCAPING MAINTENANCE SECURITY: THE SERVICE INSURANCE COMPANY, INC LANDSCAPING PERFORMANCE AND MAINTENANCE BOND NO.9399N DATED JUNE 29, 2020 IN THE AMOUNT OF \$35,259.00

OUR FILE NOS.1(E)()(2020)
PLANNING BOARD PROJECT NO. 2017 – 11

DATE: JULY 10, 2020

The above referenced bonds securing stormwater facility maintenance, landscaping maintenance are acceptable to our office as to form. The originals of the two bonds are enclosed with the Town Clerk's hard copy of this memo.

Should you have any questions, please contact me.

MCT/sel
Enc. (original bonds to Town Clerk)

cc: Hon. Gilbert J. Piaquadio, Supervisor (via e-mail)
Gerald Canfield, Code Compliance Supervisor (via e-mail)
James Osborne, Town Engineer (via e-mail)
Ronald Clum, Town Accountant (via e-mail)
Mark Hall, Highway Superintendent (via e-mail)
Patrick Hines, McGoey, Hauser & Edsall (via e-mail)
Stanley Schutzman, Esq. (via e-mail)
Joseph Sarchino, RLA, JMC Site Development (via e-mail)
Lynn Sprufera, Farrell Building Company (via e-mail)

P: 845.562.9100
F: 845.562.9126

655 Little Britain Road
New Windsor, NY 12553

P.O. Box 2280
Newburgh, NY 12550

ATTORNEYS

David L. Rider
Charles E. Frankel
Michael J. Matsler
Mark C. Taylor
Deborah Weisman-Estis
M. Justin Rider
Donna M. Badura

M. J. Rider
(1906-1968)
Elliott M. Weiner
(1915-1990)

COUNSEL

Stephen P. Duggan, III
John K. McGuirk
(1942-2018)

OF COUNSEL

Craig F. Simon
Irene V. Villacci

#134

TOWN OF NEWBURGH
TOWN ENGINEER

MEMORANDUM

TO: Gilbert Piaquadio and Town Board

FROM: Patrick J. Hines, Representative – MHE, Engineers for the Town

DATE: 7 October 2024

RE: Newburgh Self Storage
Stormwater and Erosion and Sediment Control Security & Inspection Fees
Newburgh Planning Board Project #24-6
Section 60, Block 3, Lot 22.222/ 1420 Route 300

The subject project has Conditional Final Approval from the Planning Board. The project is a redevelopment project for the former Newburgh Cinema site located off of NYS Route 300 and NYS Route 52. The project proposes to convert the existing structure into a climate controlled self-storage facility. Additional conventional self-storage facilities will be constructed in areas currently utilized for parking for the cinema. A portion of the site will be revegetated after existing parking areas are removed. The applicant's representatives, Colliers Engineering and Design have prepared a Stormwater and Erosion and Sediment Control cost estimates for the subject project. The estimate was prepared utilizing MHE's standard cost estimating template.

The applicant's representative has prepared the cost estimate in the amount of \$281,203.75. An Inspection fee in accordance with the Town's prevailing fee schedule is required. Four percent inspection fee is required based on Town Code. This equates to an inspection fee of \$11,248.15.

Based on the above, we request the Town Board establish the stormwater security and inspection fees for the subject project. Posting of these fees is a condition of the Planning Board approval.

Establishment of Stormwater Security and Inspection Fees requires Town Board action.

Enclosures: Stormwater Improvement Cost Estimate

Cc: John P. Ewasutyn, Chairman Planning Board
Gerald Canfield, Code Compliance
Jim Osborne, Town Engineer

1. Drainage

Item	Units	Quantity	Unit Price	Totals
Catch Basin 4'	EA	9	\$4,888.00	\$ 43,992.00
Drain Inlet 4'	EA	11	\$4,888.00	\$ 53,768.00
Stormwater Manhole 4'	EA	1	\$5,428.00	\$ 5,428.00
HDPE - 12"	LF	132	\$65.00	\$ 8,580.00
HDPE - 15"	LF	1,043	\$75.00	\$ 78,225.00
HDPE - 18"	LF	287	\$92.00	\$ 26,404.00
HDPE - 24"	LF	341	\$101.75	\$ 34,696.75
HDPE End Section	EA	1	\$815.00	\$ 815.00
SUBTOTAL				\$ 251,908.75

2. Erosion & Sediment Control

Item	Units	Quantity	Unit Price	Totals
Erosion & Sediment Control	AC	6.75	\$4,340.00	\$ 29,295.00
SUBTOTAL				\$ 29,295.00

CONSTRUCTION SUMMARY

ITEMS	SUBTOTALS
1) Drainage	\$ 251,908.75
2) Erosion & Sediment Control	\$ 29,295.00
TOTAL CONSTRUCTION COST	\$ 281,203.75

4% INSPECTION FEE	\$ 11,248.15
--------------------------	---------------------

NOTE: Quantities taken from site plans designed by Colliers Engineering & Design entitled "Site Plan for Budget Store & Lock Self Storage" last revised 08/22/2024.

Unit Key:			
LS	Lump Sum	LF	Linear Foot
EA	Each	CY/CF	Cubic Yard / Cubic Foot
SY	Square Yard	TON	Ton

TOWN OF NEWBURGH
TOWN ENGINEER

MEMORANDUM

TO: Gilbert Piaquadio and Town Board

FROM: Patrick J. Hines, Representative – MHE, Engineers for the Town

DATE: 7 October 2024

RE: Newburgh Self Storage
Landscape Cost Estimate
Newburgh Planning Board Project #24-6
Section 60, Block 3, Lot 22.222/ 1420 Route 300

The subject project has received Conditional Final Approval from the Planning Board. A condition of this approval requires posting of Landscaping Security and Inspection Fees. The project is a redevelopment project for the former Newburgh Cinema site located off of NYS Route 300 and NYS Route 52. The project proposes to convert the existing structure into a climate controlled self-storage facility. Additional conventional self-storage facilities will be constructed in areas currently utilized for parking for the cinema. A portion of the site will be revegetated after existing parking areas are removed. The applicant's representatives, Colliers Engineering and Design have prepared a cost estimate for the landscaping on the subject project. The cost estimate in the amount of \$17,685.00 has been submitted. A Landscape Inspection fee of \$2,000.00 is also required. Establishment of the Landscape Security requires Town Board action.

Based on the above, we request the Town Board establish Landscaping securities and inspection fees for the subject project. Posting of these fees is a condition of the Planning Board approval.

Enclosures: Landscape Cost Estimate

Cc: John P. Ewasutyn, Chairman Planning Board
Gerald Canfield, Code Compliance
Jim Osborne, Town Engineer

LANDSCAPE ESTIMATE - Newburgh Self Storage

Section 60, Block 3, Lot : 22.222

Date: August 22, 2024

SITE PLANT SCHEDULE (Unit price includes delivery, installation & 2-year warranty)

Quan.	Botanical Name	Common Name	Height	Calliper	Spread	Root	Remarks	Unit Cost	Estimated Total	
6	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2-2.5'	2-2.5"		B&B	Straight Leader/Sym. Branching	\$400.00 EA.	\$2,400	
2	ACER RUBRUM 'ARMSTRONG GOLD'	ARMSTRONG GOLD RED MAPLE	2-2.5'	2-2.5"		B&B	Straight Leader/Sym. Branching	\$400.00 EA.	\$800	
6	QUERCUS ROBUR 'FASTIGIATA'	COLUMNAR ENGLISH OAK	5-6'	2-2.5"		B&B	Straight Leader/Sym. Branching	\$400.00 EA.	\$2,400	
5	PICEA ABIES*	NORWAY SPRUCE	8-10'			B&B	Dense / Typ. Species Habit	\$300.00 EA.	\$1,800	
6	PINUS STROBUS	WHITE PINE	5-6'			B&B	Dense / Typ. Species Habit	\$300.00 EA.	\$3,000	
2	CERCIS CANADENSIS 'SUMMER TOWER'	SUMMER TOWER REDBUD	12-18"	1-1 1/2"		B&B	Straight Leader/Sym. Branching	\$300.00 EA.	\$600	
6	BOXUS 'GREEN MOUNTAIN'	GREEN MOUNTAIN BOXWOOD	24-30"			CONT.	Typical Species Habit	\$45.00 EA.	\$270	
9	HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT HYDRANGEA	24-30"			CONT.	Typical Species Habit	\$75.00 EA.	\$675	
13	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	18-24"			CONT.	Typical Species Habit	\$75.00 EA.	\$975	
11	SPIRAEA JAPONICA 'SHIROBANA'	SHIROBANA SPIREA	18-24"			CONT.	Typical Species Habit	\$35.00 EA.	\$385	
29	HEMEROCALLIS 'STELLA DE ORO'	STELLA DE ORO DAYLILY				1 GAL CONT.	Clumps @ 24" O.C	\$20.00 EA.	\$580	
25	SALVIA NEMOROSA 'BLUE MARVEL'	BLUE MARVEL SALVIA				1 GAL CONT.	Clumps @ 24" O.C	\$20.00 EA.	\$500	
LANDSCAPE MATERIAL								Plant Sub Total	\$16,185	
15	Shredded Hardwood Mulched Area (3" Thickness, Delivered, Installed)								\$100.00 CY	\$1,500
SUB TOTAL								\$1,500		
TOTAL								\$17,685		

CED Project No. 2400891A

NOTE: Quantities taken from site plans designed by Colliers Engineering & Design entitled "Site Plans for Budget Store & Lock Self Storage" last revised 08/22/2024.

#13I

TOWN OF NEWBURGH
TOWN ENGINEER

MEMORANDUM

TO: Gilbert Piaquadio and Town Board

FROM: Patrick J. Hines, Representative – MHE, Engineers for the Town

DATE: 7 October 2024

RE: Newburgh Self Storage
Landscape Cost Estimate
Newburgh Planning Board Project #24-6
Section 60, Block 3, Lot 22.222/ 1420 Route 300

The subject project has received Conditional Final Approval from the Planning Board. A condition of this approval requires posting of Landscaping Security and Inspection Fees. The project is a redevelopment project for the former Newburgh Cinema site located off of NYS Route 300 and NYS Route 52. The project proposes to convert the existing structure into a climate controlled self-storage facility. Additional conventional self-storage facilities will be constructed in areas currently utilized for parking for the cinema. A portion of the site will be revegetated after existing parking areas are removed. The applicant's representatives, Colliers Engineering and Design have prepared a cost estimate for the landscaping on the subject project. The cost estimate in the amount of \$17,685.00 has been submitted. A Landscape Inspection fee of \$2,000.00 is also required. Establishment of the Landscape Security requires Town Board action.

Based on the above, we request the Town Board establish Landscaping securities and inspection fees for the subject project. Posting of these fees is a condition of the Planning Board approval.

Enclosures: Landscape Cost Estimate

Cc: John P. Ewasutyn, Chairman Planning Board
Gerald Canfield, Code Compliance
Jim Osborne, Town Engineer

LANDSCAPE ESTIMATE - Newburgh Self Storage

Section 60, Block 3, Lot : 22.222

Date: August 22, 2024

SITE PLANT SCHEDULE (Unit price includes delivery, installation & 2-year warranty)

Quan.	Botanical Name	Common Name	Height	Calliber	Spread	Root	Remarks	Unit Cost	Estimated Total	
6	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2-2.5"	2-2.5"		B&B	Straight Leader/Sym. Branching	\$400.00 EA.	\$2,400	
2	ACER RUBRUM 'ARMSTRONG GOLD'	ARMSTRONG GOLD RED MAPLE	2-2.5"	2-2.5"		B&B	Straight Leader/Sym. Branching	\$400.00 EA.	\$800	
6	QUERCUS ROBUR 'FASTIGIATA'	COLUMNAR ENGLISH OAK	5-6'			B&B	Straight Leader/Sym. Branching	\$400.00 EA.	\$2,400	
6	PICEA ABIES	NORWAY SPRUCE	5-6'			B&B	Dense / Typ. Species Habit	\$300.00 EA.	\$1,800	
6	PICEA ABIES	NORWAY SPRUCE	8-10'			B&B	Dense / Typ. Species Habit	\$600.00 EA.	\$3,600	
6	PIRUS STROBUS	WHITE PINE	5-6'			B&B	Dense / Typ. Species Habit	\$300.00 EA.	\$1,800	
2	CERCIS CANADENSIS 'SUMMER TOWER'	SUMMER TOWER REDBUD	12-18"	1-1 1/2"		B&B	Straight Leader/Sym. Branching	\$300.00 EA.	\$600	
6	BOXUS 'GREEN MOUNTAIN'	GREEN MOUNTAIN BOXWOOD	24-30"			CONT.	Typical Species Habit	\$45.00 EA.	\$270	
9	HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT HYDRANGEA	24-30"			CONT.	Typical Species Habit	\$75.00 EA.	\$675	
13	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	24-30"			CONT.	Typical Species Habit	\$75.00 EA.	\$975	
11	SPIRAEA JAPONICA 'SHIROBANA'	SHIROBANA SPIREA	18-24"			CONT.	Typical Species Habit	\$35.00 EA.	\$385	
29	HEMEROCALLIS 'STELLA DE ORO'	STELLA DE ORO DAYLILY				1 GAL CONT.	Clumps @ 24" O.C	\$20.00 EA.	\$580	
25	SALVIA MEMOROSA 'BLUE MARVEL'	BLUE MARVEL SALVIA				1 GAL CONT.	Clumps @ 24" O.C	\$20.00 EA.	\$500	
LANDSCAPE MATERIAL								Plant Sub Total	\$16,185	
15	Shredded Hardwood Mulched Area (3" Thickness, Delivered, Installed)								\$100.00 CY	\$1,500
								SUB TOTAL	\$1,500	
								TOTAL	\$17,685	

CED Project No. 24000891A

NOTE: Quantities taken from site plans designed by Colliers Engineering & Design entitled "Site Plans for Budget Store & Lock Self Storage" last revised 08/22/2024.

#13J

Town of Newburgh

Section 35 Block 3 Lot 3.22

TOWN OF NEWBURGH

Stormwater Control Facility Maintenance Agreement

THIS AGREEMENT is made this ____ day of _____, 2024 by and between the Town of Newburgh, having an address at 1496 Route 300, Newburgh, New York 12550 (“Municipality”) and MKJC Realty, LLC, having an address at 208 South Plank Road, Newburgh, New York 12550 (the “Facility Owner”).

Whereas, the Municipality and the Facility Owner want to enter into an agreement to provide for the long term maintenance and continuation of stormwater control measures approved by the Municipality for the below named project; and

Whereas, the Facility Owner is the owner of certain real property in the Town of Newburgh consisting of approximately +/- 1.56 acres more particularly described in Schedule “A” annexed hereto and made a part hereof (the “Property”); and

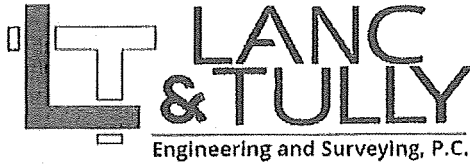
Whereas, the Municipality and the Facility Owner desire that the stormwater control measures be built in accordance with the approved project plans and thereafter be maintained, cleaned, repaired, replaced and continued in perpetuity in order to ensure optimum performance of the components.

Now, therefore, the Municipality and the Facility Owner agree as follows:

1. This agreement binds the Municipality and the Facility Owner, its successors and assigns to the maintenance provisions depicted in the approved project plans and Stormwater Pollution Prevention Plan which are on file with the Municipality’s Stormwater Management Officer.
2. The Facility Owner shall maintain, clean, repair, replace and continue the stormwater control measures depicted on the approved project plans for the Facility known as MKJC Realty, LLC Site Plan (last revised December 11, 2023) on and about the Property, as necessary to ensure optimum performance of the measures to design specifications. The stormwater control measures shall include, but shall not be limited to, the following: drainage ditches, swales, dry wells, infiltrators, drop inlets, pipes, culverts, soil absorption devices and retention ponds and other stormwater practices identified in the Stormwater Pollution Prevention Plan (SWPPP) approved by the Municipality.

3. The Facility Owner shall be responsible for all expenses related to the maintenance of the stormwater control measures and shall establish a means for the collection and distribution of expenses among parties for any commonly owned facilities.
4. The Facility Owner shall provide for the periodic inspection of the stormwater control measures, not less than once a year, to determine the condition and integrity of the measures. Such inspection shall be performed by a Professional Engineer licensed by the State of New York. The inspecting engineer shall prepare and submit to the Municipality within 30 days of the inspection, a written report of the findings including recommendations for those actions necessary for the continuation of the stormwater control measures.
5. The Facility Owner shall not authorize, undertake or permit alteration, abandonment, modification or discontinuation of the stormwater control measures except in accordance with written approval of the Municipality. The obligations of the Facility Owner under paragraphs 2, 3, 4 and 6 of this Agreement shall toll upon the completion of the establishment of a drainage district of the Municipality and the acceptance of the dedication of the stormwater control measures by the Municipality. The tolling period shall end upon the discontinuance or dissolution of the municipal drainage district.
6. The Facility Owner shall undertake necessary maintenance, repairs and replacement of the stormwater control measures at the direction of the Municipality or in accordance with the recommendations of the inspecting engineer.
7. The Facility Owner shall provide to the Municipality within 30 days of the date of this agreement, such security for the maintenance and continuation of the stormwater control measures as the Municipality may have required in its approval in the form acceptable to the Town Engineer and Town Attorney (a bond, letter of credit or escrow account).
8. This agreement shall be recorded in the Office of the County Clerk, County of Orange and shall be included in any offering plan and/or prospectus or lease. All rights, title and privileges herein granted, including all benefits and burdens, shall run with the land and shall be binding upon and inure to the benefit of the parties hereto, their respective heirs, executors, administrators, successors, assigns and legal representatives.
9. If ever the Municipality determines that the Facility Owner has failed to construct or maintain the stormwater control measures in accordance with the project plans or has failed to undertake corrective action specified by the Municipality or by the inspecting engineer, the Municipality is authorized to undertake such steps as reasonably necessary for the preservation, continuation or maintenance of the stormwater control measures and to affix the expenses thereof as a lien against the property. The Facility Owner shall reimburse the Municipality for all costs and expenses, including reasonable attorneys' fees, incurred in enforcing this Agreement and curing a violation.

SCHEUDLE "A"



DESCRIPTION
LANDS OF MKJC REALTY, LLC
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

OCTOBER 3, 2024

All that certain plot, piece or parcel of land, situate in the Town of Newburgh, County of Orange, State of New York, said lands being more particularly bounded and described as follows:

BEGINNING at a point lying at an angle in the southwesterly line of New York State Route 32 (North Plank Road), said point being the easterly corner of lands herein described and lying on the northwesterly line of lands now or formerly JMS RHAB Realty, LLC;

THENCE running along a portion of the northwesterly line of lands of said JMS RHAB Realty, LLC, being the southeasterly line of lands herein described on the following two (2) courses and distances:

- (1) South 48 degrees, 52' 15" West, as per Filed Map No. 983-05, a distance of 167.70 feet, to a point of curvature;
- (2) On a curve to the left, having a radius of 95.00 feet, an arc length of 73.86 feet, as defined by the chord South 26 degrees, 35' 51" West, 72.01 feet; and
- (3) South 58 degrees, 17' 31" West, a distance of 90.68 feet, to a point being the southerly corner of lands herein described and the easterly corner of lands now or formerly Gizzarelli & Wagner LLC;

THENCE running along the northeasterly line of lands of said Gizzarelli & Wagner LLC, being a southwesterly line of lands herein described,

- (4) North 31 degrees, 42' 29" West, a distance of 140.24 feet, to a point being the northerly corner of lands of said Gizzarelli & Wagner LLC;

THENCE running along a portion of the northwesterly line of lands of said Gizzarelli & Wagner LLC, being a southeasterly line of lands herein described,

- (5) South 59 degrees, 11' 57" West, a distance of 156.77 feet, to a point being the westerly corner of lands herein described and lying on the southeasterly line of lands now or formerly Cornwall Management LLC;

THENCE running along a portion of the southeasterly line of lands of said Cornwall Management LLC, being the northwesterly line of lands herein described,

- (6) North 38 degrees, 17' 27" East, a distance of 456.30 feet, to a point being the northerly corner of lands herein described and lying on the southwesterly line of New York State Route 32 (North Plank Road);

DESCRIPTION
LANDS OF MKJC REALTY, LLC
TOWN OF NEWBURGH
ORANGE COUNTY, NEW YORK

OCTOBER 3, 2024

THENCE running along the southwesterly line of said North Plank Road being the northeasterly line of lands herein described on the following six (6) courses and distances:

- (7) South 47 degrees, 13' 34" East, a distance of 5.30 feet;
- (8) South 34 degrees, 36' 15" East, a distance of 6.04 feet;
- (9) South 10 degrees, 43' 52" East, a distance of 28.76 feet;
- (10) South 37 degrees, 53' 16" East, a distance of 47.32 feet;
- (11) South 50 degrees, 57' 12" East, a distance of 139.95 feet; and
- (12) South 41 degrees, 07' 43" East, a distance of 16.57 feet, to the point or place of BEGINNING;

All as shown on a map entitled "Survey Prepared For MKJC Realty, LLC, Town of Newburgh, Orange County, New York", dated October 1, 2024, prepared by Lanc & Tully Engineering and Surveying, P.C.

Containing 1.569± acres

Premises herein described being Tax Map Lot No. 3.22, in Block 3, within Section 35, as shown on the Tax Maps of the Town of Newburgh, Orange County, New York, dated 2023.

Premises herein described being the same premises as described in Liber 15137 of Deeds at Page 1318, as filed in the Orange County Clerk's Office.

Premises herein described being subject to any easements, rights-of-way, covenants or restrictions of record.

#13K

TOWN OF NEWBURGH

Stormwater Facilities Maintenance Agreement

THIS AGREEMENT is made this ____ day of _____, 20____ by and between the Town of Newburgh, having an address at 1496 Route 300, Newburgh, New York 12550 ("Municipality"), and Budget Newburgh, LLC, having an address at 1090 Macarthur Road, Whitehall, PA 18052 (the "Facility Owner").

Whereas, the Municipality and the Facility Owner want to enter into an agreement to provide for the long term maintenance and continuation of stormwater control measures approved by the Municipality for the below named project; and

Whereas, the Facility Owner is the owner of certain real property in the Town of Newburgh consisting of approximately +/- 8.35 acres more particularly described in Schedule "A" annexed hereto and made a part hereof (the "Property"); and

Whereas, the Municipality and the Facility Owner desire that the stormwater control measures be built in accordance with the approved project plans and thereafter be maintained, cleaned, repaired, replaced and continued in perpetuity in order to ensure optimum performance of the components.

Now, therefore, the Municipality and the Facility Owner agree as follows:

1. This agreement binds the Municipality and the Facility Owner, its successors and assigns to the maintenance provisions depicted in the approved project plans and Stormwater Pollution Prevention Plan which are on file with the Municipality's Stormwater Management Officer.
2. The Facility Owner shall maintain, clean, repair, replace and continue the stormwater control measures depicted on the approved project plans for the Facility known as Budget Store & Lock Self Storage on and about the Property, as necessary to ensure optimum performance of the measures to design specifications. The stormwater control measures shall include, but shall not be limited to, the following: drainage ditches, swales, drain inlets, catch basins, pipes, culverts, and other stormwater practices identified in the Stormwater Pollution Prevention Plan (SWPPP) approved by the Municipality.
3. The Facility Owner shall be responsible for all expenses related to the maintenance of the stormwater control measures.
4. The Facility Owner shall provide for the periodic inspection of the stormwater control measures, not less than once a year, to determine the condition and integrity of the measures. Such inspection shall be performed by a Professional Engineer licensed by the State of New York. The inspecting engineer shall prepare and submit to the Municipality within 30 days of

the inspection, a written report of the findings including recommendations for those actions necessary for the continuation of the stormwater control measures.

5. The Facility Owner shall not authorize, undertake or permit alteration, abandonment, modification or discontinuation of the stormwater control measures except in accordance with written approval of the Municipality. The obligations of the Facility Owner under paragraphs 2, 3, 4 and 6 of this Agreement shall toll upon the completion of the establishment of a drainage district of the Municipality and the acceptance of the dedication of the stormwater control measures by the Municipality. The tolling period shall end upon the discontinuance or dissolution of the municipal drainage district.

6. The Facility Owner shall undertake necessary maintenance, repairs and replacement of the stormwater control measures at the direction of the Municipality or in accordance with the recommendations of the inspecting engineer.

7. The Facility Owner shall provide to the Municipality within 30 days of the date of this agreement, such security for the maintenance and continuation of the stormwater control measures as the Municipality may have required in its approval in the form acceptable to the Town Engineer and Town Attorney (a bond, letter of credit or escrow account).

8. This agreement shall be recorded in the Office of the County Clerk, County of Orange and shall be included in any offering plan and/or prospectus or lease. All rights, title and privileges herein granted, including all benefits and burdens, shall run with the land and shall be binding upon and inure to the benefit of the parties hereto, their respective heirs, executors, administrators, successors, assigns and legal representatives.

9. If ever the Municipality determines that the Facility Owner has failed to construct or maintain the stormwater control measures in accordance with the project plans or has failed to undertake corrective action specified by the Municipality or by the inspecting engineer, the Municipality is authorized to undertake such steps as reasonably necessary for the preservation, continuation or maintenance of the stormwater control measures and to affix the expenses thereof as a lien against the property. The Facility Owner shall reimburse the Municipality for all costs and expenses, including reasonable attorneys fees, incurred in enforcing this Agreement and curing a violation.

10. This agreement is effective _____, 20_____.

SCHEUDLE "A"

#13L

Town of Newburgh
Orange County, New York
Stormwater Control Facility Maintenance Agreement

Whereas, the Town of Newburgh, Orange County, New York ("the Town"), a municipal corporation with an office located at 99 Tower Drive, Building A, Middletown, New York 10941 and SPLASH NEWBURGH REAL ESTATE LLC ("the Facility Owner"), with an address at 472 Wheelers Farm Road, Milford, CT, want to enter into an agreement to provide for the long term construction, maintenance and continuation of stormwater control measures approved by the Town for the project described in the project plans referred to below for property ("Premises") known as 1295 Route 300, Newburgh NY 12550, and referred to on the tax map of the Town as Section 95, Block 1, Lot 14.1, being and intended to be the Premises described in a deed from ZIMPLEX, INC., which deed is dated 21 January 2022 and recorded on 28 February 2022 in the Orange County Clerk's office at Liber 15165 at Page 345 and intended to be conveyed to the Facility Owner on the date hereof and more particularly described in Schedule A annexed hereto and made a part hereof, and

Whereas, there exists certain approved project plans ("Site Plan") prepared by Pietrzak & Pfau, and last revised on 7 June 2024, which plans depict the aforementioned stormwater control measures, which stormwater control measures the Facility Owner represents to the Town were designed in accordance with the prevailing and required stormwater control and treatment practices and regulations required by the Town and/or the New York State Department of Environmental Conservation ("DEC"), and

Whereas, the Town and the Facility Owner desire that the stormwater control measures be built in accordance with the Site Plan and thereafter be maintained, cleaned, repaired, replaced and continued in perpetuity by the Facility Owner, its heirs, successors and assigns in order to ensure the ongoing and intended performance of the components, and

Whereas, the stormwater control measures may also need to be periodically maintained, cleaned, repaired, and/or replaced to function in accordance with such practices and/or regulations as may be amended and/or revised from time-to-time by the governing body having jurisdiction over the same, and

Now, therefore, the Town and the Facility Owner agree as follows:

1. This agreement binds the Town and the Facility Owner, its heirs, successors and assigns, to the construction, maintenance and continuation of stormwater control measures depicted in the approved project plans that are attached as Schedule B of this agreement and made a part hereof. The stormwater control measures may include, but shall not be limited to, the following: drainage ditches, swales, dry wells, infiltrators, drop inlets, pipes, culverts, soil absorption devices, catch basins, manholes and stormwater treatment and management ponds.
2. The Facility Owner, its heirs, successors and assigns shall be responsible for all expenses related to the construction, maintenance and continuation of the stormwater control measures and shall establish a means for the collection and distribution of expenses among parties for any commonly owned facilities.

3. The Facility Owner, its heirs, successors and assigns shall provide for the periodic inspection of the stormwater control measures, not less than once in every one year period, to determine the condition and integrity of the measures.
4. The Facility Owner, its heirs, successors and assigns shall maintain, clean, repair, replace and continue the stormwater control measures depicted in Schedule B as necessary to ensure their intended performance. At a minimum, the Facility Owner shall perform the annual maintenance described in Schedule C hereto. Such maintenance shall be performed at least once every calendar year. As part of such annual maintenance, the Facility Owner shall also perform such work as recommended in the annual report prepared by the Professional Engineer in accordance with paragraph 3 above. Within thirty (30) days of the annual maintenance being completed, the Facility Owner shall submit to the Town a verified statement attesting to the fact that the maintenance measures set forth on Schedule B have been completed.
5. The Facility Owner, its heirs, successors and assigns shall not authorize, undertake or permit alteration, abandonment, modification or discontinuation of the stormwater control measures except in accordance with written approval of the Town, which approval the Town can withhold in its sole discretion.
6. The Facility Owner, its heirs, successors and assigns shall undertake necessary repairs and replacement of the stormwater control measures at the direction of the Town. The Town's right to require repairs and/or replacement shall not constitute a special duty, and it shall not relieve the Facility Owner of any obligation imposed on the Facility Owner by applicable law.
7. The Facility Owner irrevocably gives permission to the Town to enter the Premises and perform such inspections and/or patrols of the Premises as the Town deems, in its sole and reasonable discretion, to be reasonably necessary to investigate the performance of the stormwater control measures and Facility Owner's performance of its obligations hereunder. Such inspections and/or patrols can be performed by the Town without notice or pre-conditions as the Town considers appropriate under the circumstances. Said inspections and/or patrols can be performed by any authorized person acting on behalf of the Town, including, but not limited to, its police officers, and/or code enforcement personnel. The permission granted hereby is in addition to any other right the Town has to inspect the Premises, and it is not in limitation thereof. This permission shall not be revoked so long as the Premises is used and operated in the Town of Newburgh that is open to the public and/or pursuant to an approved site plan or special use permit.
8. This agreement shall be recorded in the office of the County Clerk, County of Orange, together with any deed for the common property, if any, and shall be included in the offering plan and/or prospectus, if applicable to the project plans. This agreement and the requirements contained herein (including the requirements set forth in Schedule A) shall run with the land and shall bind the Facility Owner, its heirs, successors and assigns forever. The Facility Owner, its heirs, successors and assigns agree to execute any documents required by the Town in connection with this agreement and the implementation of this agreement, and failure to so execute any such documents shall constitute a violation of this agreement.
9. If ever the Town determines that the Facility Owner, its heirs, successors and assigns has failed to construct or maintain the stormwater control measures in accordance with the Site Plan or has failed to undertake corrective action specified by the Town, or if the Facility Owner, its heirs, successors and assigns has failed to execute any documents required by the Town in connection with this agreement and the implementation of this agreement, and/or failed to post

such security as required by the Town, then the Town is authorized to undertake such steps as may be reasonably necessary for the preservation, continuation or maintenance of the stormwater control measures and to affix the expenses thereof as a lien against the property and/or levy and collect such expenses in the same form and manner as taxes are levied and collected on the Premises. The Town is authorized to take any and all other actions against the Facility Owner, its heirs, successors and assigns as may be allowed by local, County, State or Federal Law to enforce this agreement and/or collect any expenses incurred by the Town, including reasonable attorneys' fees, to bring about performance of the Facility Owner's obligations hereunder.

10. Whenever reference is made in this agreement to "the Town," the same shall be deemed to mean agents, officers, employees and subcontractors of and consultants to the Town. Whenever reference is made in this agreement to "Facility Owner," the same shall be deemed to also refer to the Facility Owner, its heirs, successors and/or assigns.

11. This agreement is effective as of _____.

**LEGAL DESCRIPTION
FOR
ADS PROPERTIES, LLC
CAR WASH
TAX MAP SECTION 95, BLOCK 1, LOT 14.1
P&P NO. 31102.01**

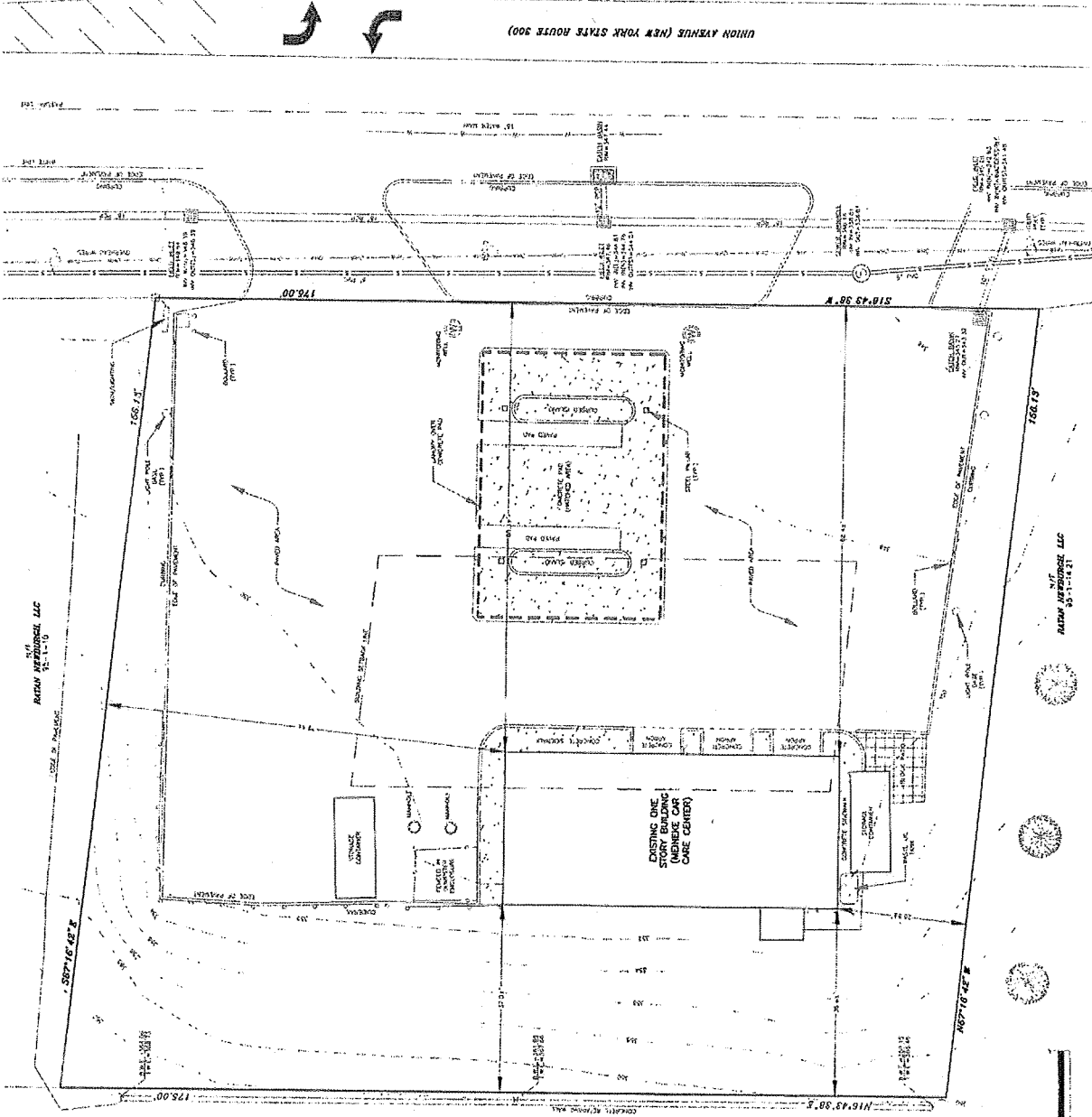
ALL that parcel of land, lying, situate and being in the Town of Newburgh, County of Orange, State of New York, and being more accurately described as follows:

BEGINNING at a point on the westerly side line of New York State Route 300 (a.k.a. Union Avenue) and in common with Lands n/f Ratan Newburgh, LLC, Tax Map Section 95, Block 1, Lot 14.21 and running thence along said Tax Lot 14.21 N67°16'42"W 156.13 feet to a point; thence N16°43'38"E 175.00 feet to a point; thence continuing in part along Tax Lot 14.21 and along Lands n/f Ratan Newburgh, LLC, Tax Map Section 95, Block 1, Lot 10 S67°16'42"E 156.13 feet to a point in common with said New York State Route 300 (a.k.a. Union Avenue); thence along the westerly side line of said New York State Route 300 (a.k.a. Union Avenue) S16°43'38"W 175.00 feet to the point or place of beginning.

Containing 0.62± acres of land.

Subject to any easements or agreements, if any.

JES
31102.01 legal 10-4-24✓



RECORD OWNER
 RESERVE LLC OFFICE MANAGEMENT REAL
 475 WEST 17TH STREET
 NEW YORK, NY 10011

RECORD ARCHITECT
 ARONSON ARCHITECTS
 1000 BROADWAY
 10TH FLOOR
 NEW YORK, NY 10018

PIETRZAK & PIATU
 ENGINEERING & SURVEYING, P.C.
 100 WEST 17TH STREET
 10TH FLOOR
 NEW YORK, NY 10011

ABS PROPERTIES, LLC
 CAR WASH
 100 WEST 17TH STREET
 10TH FLOOR
 NEW YORK, NY 10011

EXISTING CONDITIONS
 SECTION 80 BLOCK 1 LOT 8A1

GRAPHIC SCALE
 1" = 10' - 0"

ABS PROPERTIES, LLC
 95-11-10-31

PROPERTY NOTES:
 1. THE PROPERTY IS SHOWN IN ACCORDANCE WITH THE RECORD MAP OF THE CITY OF NEW YORK, FILED IN THE OFFICE OF THE CLERK OF THE CITY OF NEW YORK, ON 10/10/11, AS A VARIATION OF SECTION 179, SUBSECTION 2, OF THE E.P.C.
 2. THE PROPERTY IS SHOWN IN ACCORDANCE WITH THE RECORD MAP OF THE CITY OF NEW YORK, FILED IN THE OFFICE OF THE CLERK OF THE CITY OF NEW YORK, ON 10/10/11, AS A VARIATION OF SECTION 179, SUBSECTION 2, OF THE E.P.C.
 3. THE PROPERTY IS SHOWN IN ACCORDANCE WITH THE RECORD MAP OF THE CITY OF NEW YORK, FILED IN THE OFFICE OF THE CLERK OF THE CITY OF NEW YORK, ON 10/10/11, AS A VARIATION OF SECTION 179, SUBSECTION 2, OF THE E.P.C.
 4. THE PROPERTY IS SHOWN IN ACCORDANCE WITH THE RECORD MAP OF THE CITY OF NEW YORK, FILED IN THE OFFICE OF THE CLERK OF THE CITY OF NEW YORK, ON 10/10/11, AS A VARIATION OF SECTION 179, SUBSECTION 2, OF THE E.P.C.
 5. THE PROPERTY IS SHOWN IN ACCORDANCE WITH THE RECORD MAP OF THE CITY OF NEW YORK, FILED IN THE OFFICE OF THE CLERK OF THE CITY OF NEW YORK, ON 10/10/11, AS A VARIATION OF SECTION 179, SUBSECTION 2, OF THE E.P.C.
 6. THE PROPERTY IS SHOWN IN ACCORDANCE WITH THE RECORD MAP OF THE CITY OF NEW YORK, FILED IN THE OFFICE OF THE CLERK OF THE CITY OF NEW YORK, ON 10/10/11, AS A VARIATION OF SECTION 179, SUBSECTION 2, OF THE E.P.C.
 7. THE PROPERTY IS SHOWN IN ACCORDANCE WITH THE RECORD MAP OF THE CITY OF NEW YORK, FILED IN THE OFFICE OF THE CLERK OF THE CITY OF NEW YORK, ON 10/10/11, AS A VARIATION OF SECTION 179, SUBSECTION 2, OF THE E.P.C.
 8. THE PROPERTY IS SHOWN IN ACCORDANCE WITH THE RECORD MAP OF THE CITY OF NEW YORK, FILED IN THE OFFICE OF THE CLERK OF THE CITY OF NEW YORK, ON 10/10/11, AS A VARIATION OF SECTION 179, SUBSECTION 2, OF THE E.P.C.
 9. THE PROPERTY IS SHOWN IN ACCORDANCE WITH THE RECORD MAP OF THE CITY OF NEW YORK, FILED IN THE OFFICE OF THE CLERK OF THE CITY OF NEW YORK, ON 10/10/11, AS A VARIATION OF SECTION 179, SUBSECTION 2, OF THE E.P.C.
 10. THE PROPERTY IS SHOWN IN ACCORDANCE WITH THE RECORD MAP OF THE CITY OF NEW YORK, FILED IN THE OFFICE OF THE CLERK OF THE CITY OF NEW YORK, ON 10/10/11, AS A VARIATION OF SECTION 179, SUBSECTION 2, OF THE E.P.C.

EXISTING CONDITIONS:
 1. THE PROPERTY IS SHOWN IN ACCORDANCE WITH THE RECORD MAP OF THE CITY OF NEW YORK, FILED IN THE OFFICE OF THE CLERK OF THE CITY OF NEW YORK, ON 10/10/11, AS A VARIATION OF SECTION 179, SUBSECTION 2, OF THE E.P.C.
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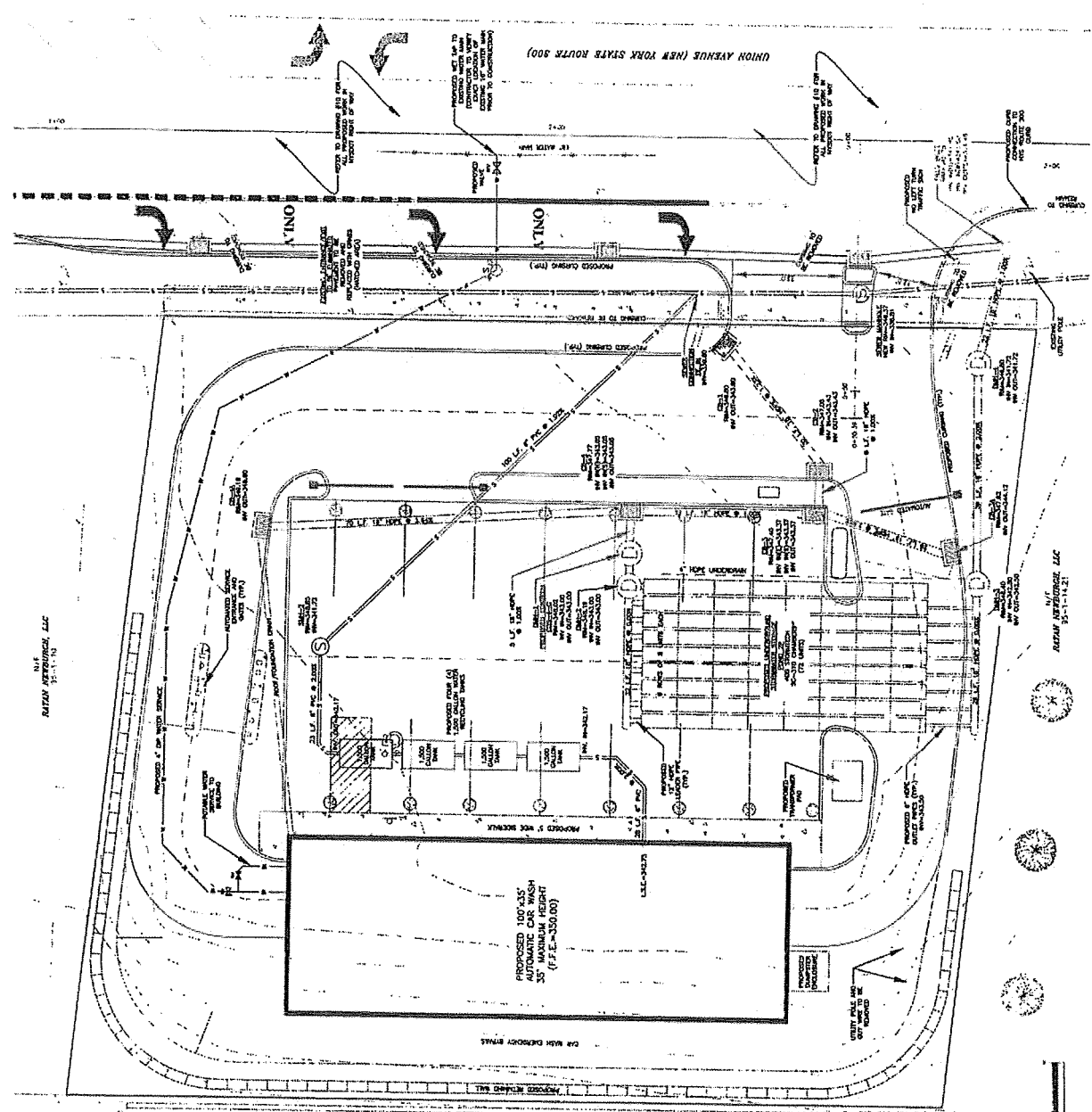


NO.	DATE	REVISION	BY
1	08/14/14	ISSUED FOR PERMIT	AD
2	08/14/14	REVISED PER CITY COMMENTS	AD
3	08/14/14	REVISED PER CITY COMMENTS	AD
4	08/14/14	REVISED PER CITY COMMENTS	AD
5	08/14/14	REVISED PER CITY COMMENTS	AD
6	08/14/14	REVISED PER CITY COMMENTS	AD
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48	08/14/14	REVISED PER CITY COMMENTS	AD
49	08/14/14	REVISED PER CITY COMMENTS	AD
50	08/14/14	REVISED PER CITY COMMENTS	AD

PIETRZAK & PRAU
 ENGINEERING & SURVEYING, LLC
 100 WEST 11TH STREET, SUITE 200
 NEW YORK, NY 10011
 TEL: 212-691-1111
 FAX: 212-691-1112
 WWW.PIETRZAKANDPRAU.COM

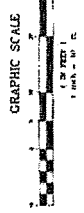
ADS PROPERTIES, LLC
CAR WASH
 COUNTY OF VERMONT, NEW YORK

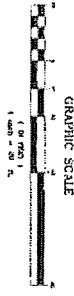
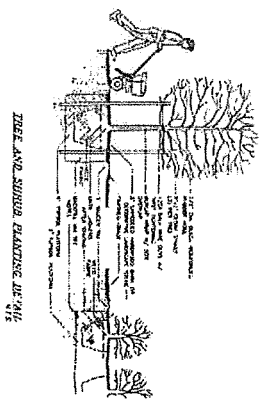
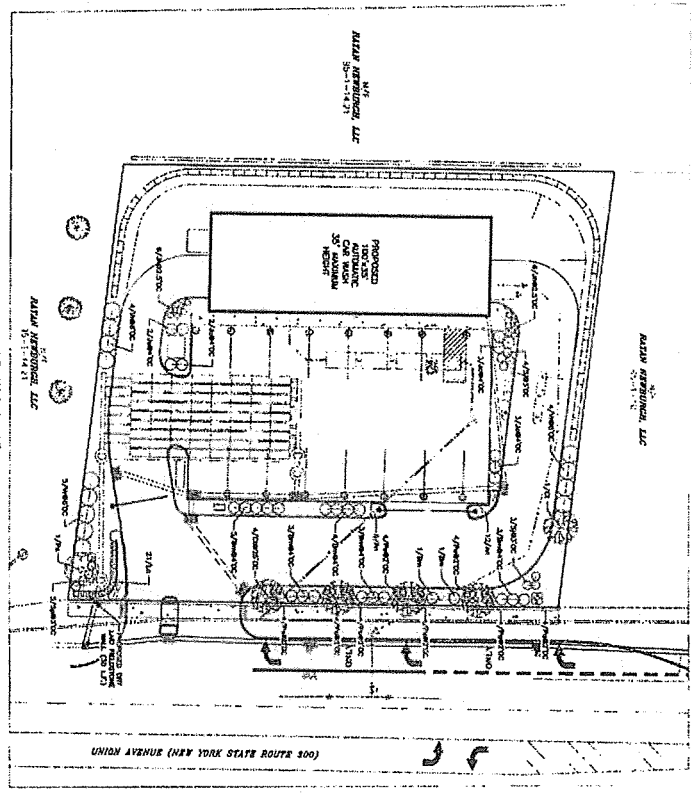
UTILITY PLAN
 PROJECT NO. 14-001
 SHEET NO. 1 OF 1
 DATE: 08/14/14



N.Y.
 BATHY ARCHITECTURE, LLC
 95-11-14.21

PROPOSED 100'x35'
 AUTOMATIC CAR WASH
 35' MAXIMUM HEIGHT
 (P.F.E.-030.00)





WARRANTY NOTES

1. This plan is prepared for the use of the client and is not to be used for any other purpose without the written consent of the architect.
2. The architect is not responsible for the accuracy of the data furnished by the client.
3. The architect is not responsible for the accuracy of the data furnished by the client.
4. The architect is not responsible for the accuracy of the data furnished by the client.
5. The architect is not responsible for the accuracy of the data furnished by the client.
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9. The architect is not responsible for the accuracy of the data furnished by the client.
10. The architect is not responsible for the accuracy of the data furnished by the client.

ESPPOSITO & ASSOCIATES
701 GOVERNOR AVENUE
CORAMEN NT, NY 10024
ARCHITECTS

SHADE & SCREENING TREE PLANTING SPECIFICATIONS

1. The trees shall be planted in accordance with the specifications set forth herein.
2. The trees shall be planted in accordance with the specifications set forth herein.
3. The trees shall be planted in accordance with the specifications set forth herein.
4. The trees shall be planted in accordance with the specifications set forth herein.
5. The trees shall be planted in accordance with the specifications set forth herein.
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8. The trees shall be planted in accordance with the specifications set forth herein.
9. The trees shall be planted in accordance with the specifications set forth herein.
10. The trees shall be planted in accordance with the specifications set forth herein.

TOPSOIL & SPREADING NOTES

1. The topsoil shall be spread in accordance with the specifications set forth herein.
2. The topsoil shall be spread in accordance with the specifications set forth herein.
3. The topsoil shall be spread in accordance with the specifications set forth herein.
4. The topsoil shall be spread in accordance with the specifications set forth herein.
5. The topsoil shall be spread in accordance with the specifications set forth herein.
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10. The topsoil shall be spread in accordance with the specifications set forth herein.

NO.	DESCRIPTION	QUANTITY	UNIT	REMARKS
1	TOPSOIL	1000	CU YD	
2	SPREADING	1000	HR	
3

PLANTING NOTES

1. The trees shall be planted in accordance with the specifications set forth herein.
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PIETRAK & PAUL
ENGINEERING & SURVEYING
CORAMEN NT, NY 10024

ADS PROPERTIES, LLC
CAR FASH
CORAMEN NT, NY 10024

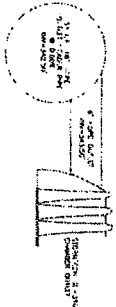
LANDSCAPING PLAN
DATE: 10/15/2014
PROJECT: 10/15/2014



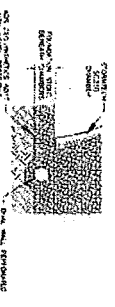
STORAGE SC-310 CHAMBER INLET AND SECTION



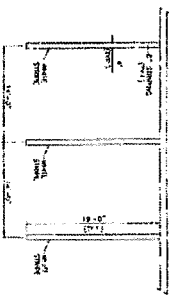
STORAGE SC-310 CHAMBER OUTLET AND SECTION



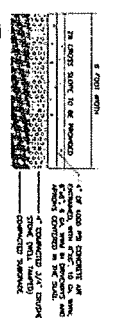
STORAGE SC-310 CHAMBER OUTLET



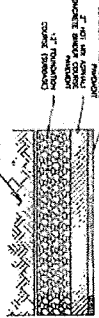
STORAGE UNDERDRAIN DETAIL



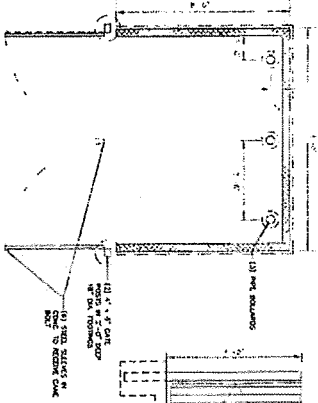
VACUUM SPACE PARKING STRIP DETAIL



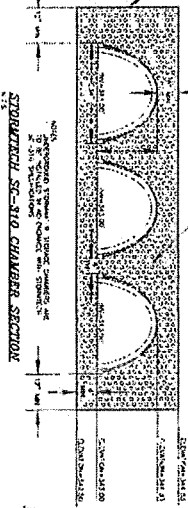
CONCRETE SIDEWALK DETAIL



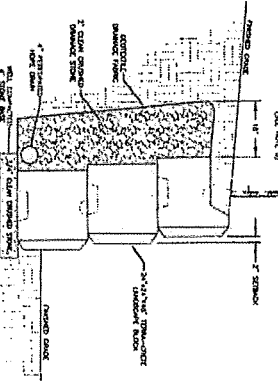
PAVEMENT AREA CROSS-SECTION



QUARTER AREA DETAIL



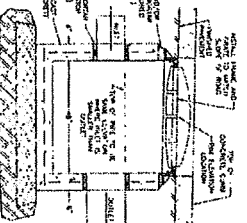
STORAGE SC-310 CHAMBER SECTION



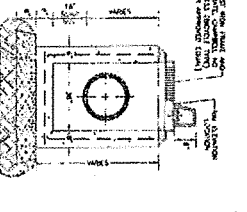
STORAGE SC-310 CHAMBER SECTION



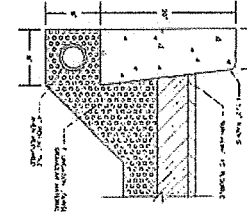
PAVEMENT AREA



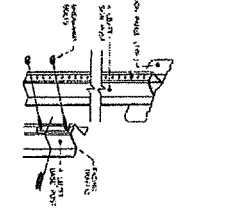
ERECT SECTION



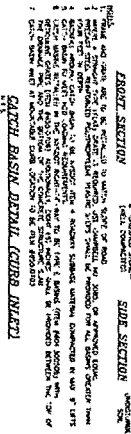
SIDE SECTION



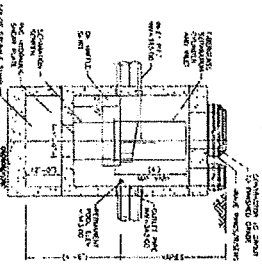
CONCRETE CURB DETAIL



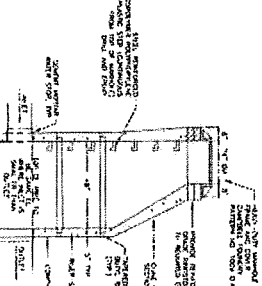
ANCHOR POST ASSEMBLY SIGN SUPERIOR DETAIL



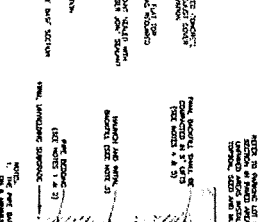
CATCH BASIN DETAIL (CURB INLET)



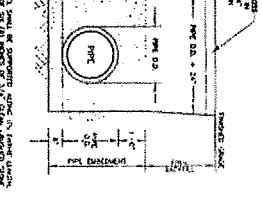
STORAGE SC-310 CHAMBER SECTION



DRAINAGE MANHOLE DETAIL



DRAINAGE PIPE BEDDING & BACKFILL DETAIL



ACCESSIBLE PARKING SIGN DETAIL



1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

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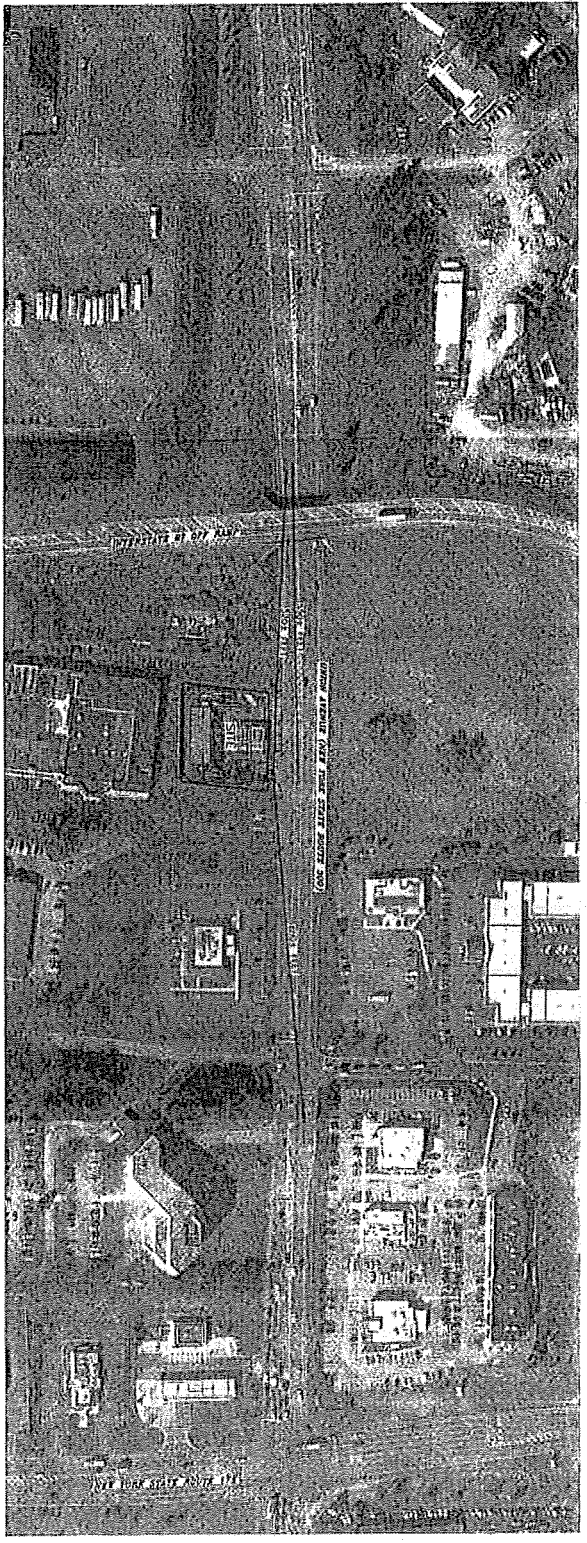
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PIETZAK & PAU
ENGINEERING & SURVEYING, INC.
100 WEST 42ND STREET, 10TH FLOOR
NEW YORK, NY 10018
TEL: 212-692-1234
FAX: 212-692-1234

ADS PROPERTIES LLC
TAMAR OF WASHINGTON
GAR WASH
COUNTY OF GARLAND, NEW YORK

DETAIL SHEET (1)
SECTION NO. SHEET 1 OF 141

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	10/15/11
2	REVISED PER COMMENTS	11/15/11
3	REVISED PER COMMENTS	12/15/11
4	REVISED PER COMMENTS	01/15/12
5	REVISED PER COMMENTS	02/15/12
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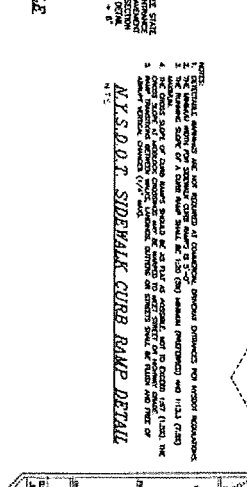
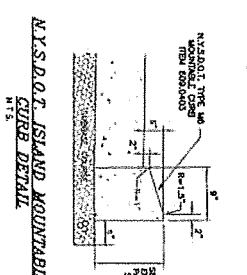
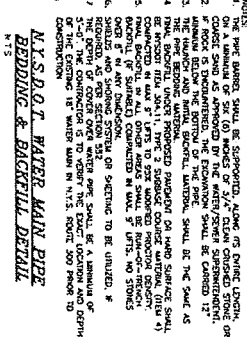
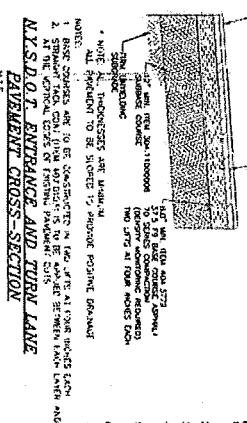
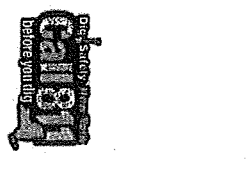
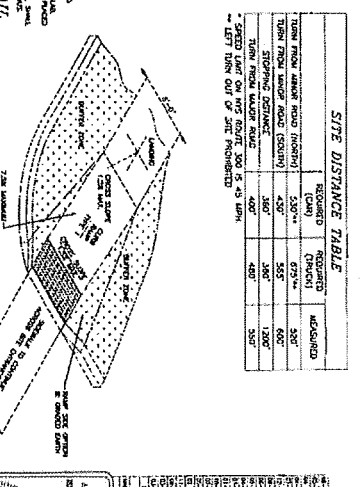
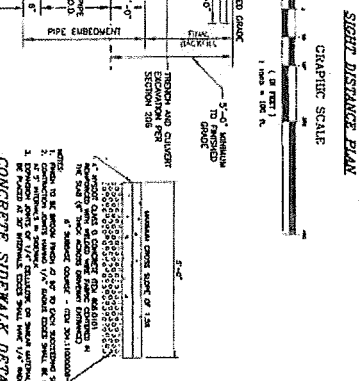
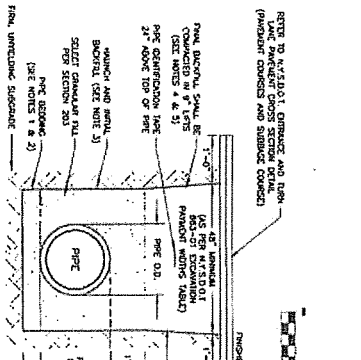
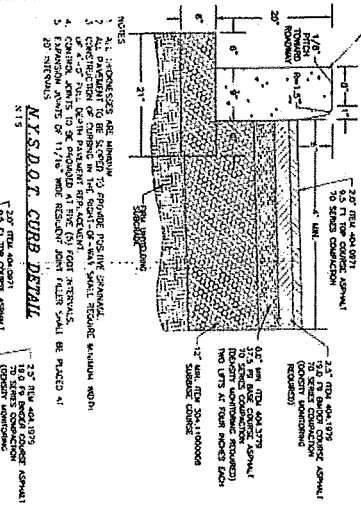
SIGHT DISTANCE PLAN

GRAPHIC SCALE
(1 IN FEET)
1" = 10' OR 1/8" = 10'

SIGHT DISTANCE TABLE

TRUCK FROM MAIN ROAD (FEET)	REQUIRED (FOOT)	PROPOSED (FOOT)	DEFICIENCY (FEET)
100	350	375	25'
200	400	425	25'
300	450	475	25'
400	500	525	25'

SEEDED LIGHT ON THE SOUTH SIDE IS 43 FEET
SEEDED LIGHT ON THE NORTH SIDE IS 43 FEET

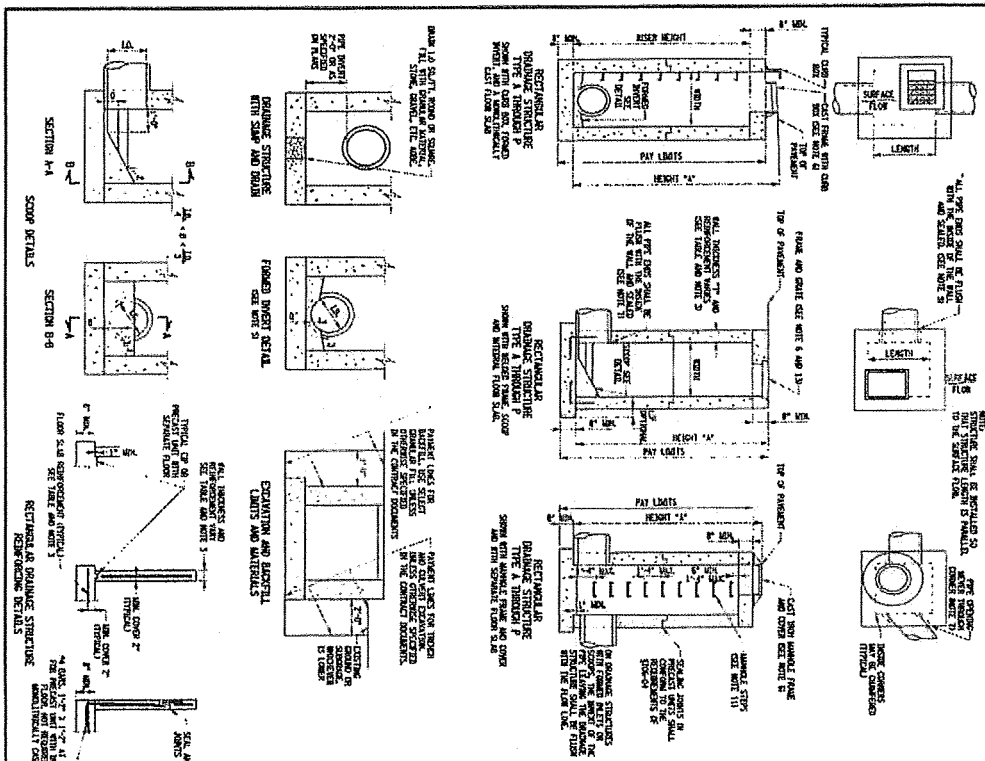


ADS PROPERTIES, LLC
CAR WASH
COUNTY OF SHERBURN, NEW YORK
N.Y.S.D.O.T. SIGHT
PLAN & DETAILS
DISTANCES

PIETRAK & PAU
ARCHITECTS
100 WEST 10TH STREET
NEW YORK, NY 10011
TEL: 212 692 1111
WWW.PIETRAKANDPAU.COM

DATE: 10/15/14
SCALE: 1/8" = 10'
PROJECT: CAR WASH
NO.: 100 WEST 10TH STREET
CITY: NEW YORK, NY 10011

NOTES:
1. ALL DIMENSIONS ARE UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.



GENERAL NOTES:

1. DAMAGE STRUCTURES SHALL BE REPAIR OR REPLACE WITH EQUAL OR BETTER MATERIALS. ALL REPAIRS SHALL BE APPROVED BY THE ENGINEER BEFORE CONSTRUCTION. THE REPAIRS SHALL BE IDENTIFIED BY THE ENGINEER AND SHALL BE IDENTIFIED BY THE CONTRACTOR. THE REPAIRS SHALL BE IDENTIFIED BY THE CONTRACTOR AND SHALL BE IDENTIFIED BY THE ENGINEER.
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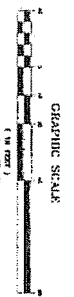
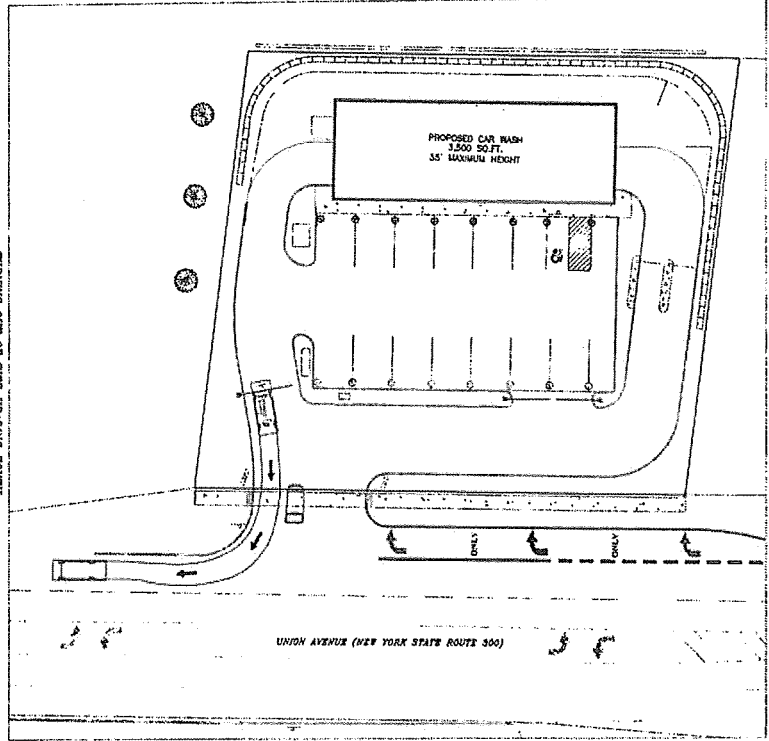
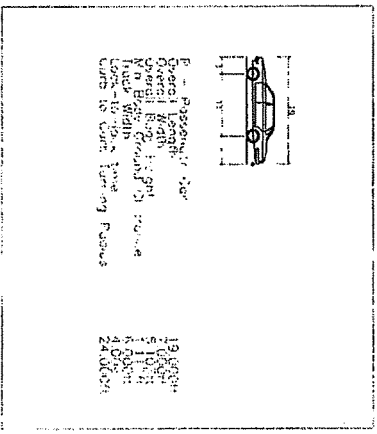
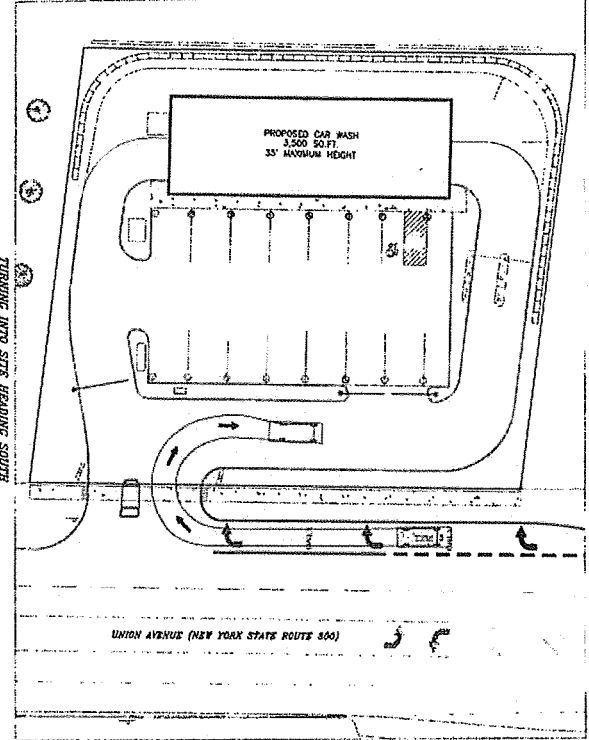
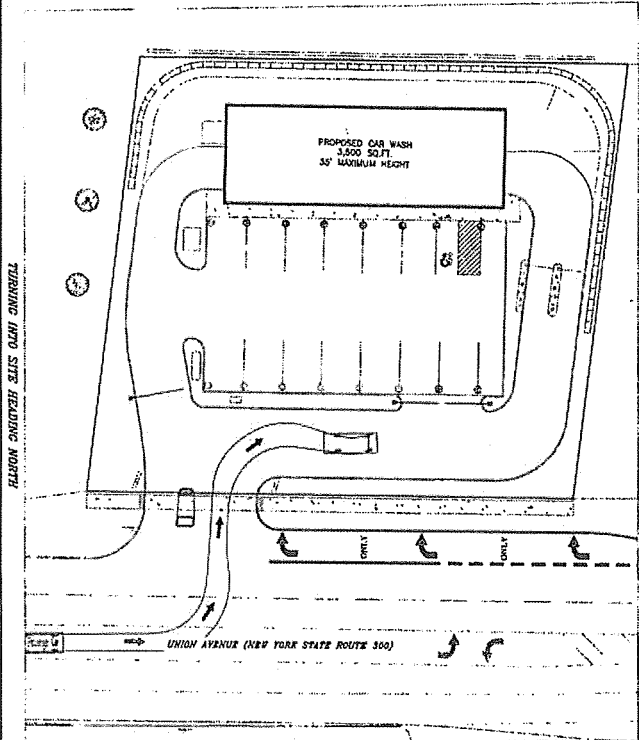
STRUCTURE SIZES AND PAY CODES	
STRUCTURE TYPE	INSIDE DIMENSIONS
1	1'-0" x 1'-0"
2	1'-0" x 2'-0"
3	1'-0" x 3'-0"
4	1'-0" x 4'-0"
5	1'-0" x 5'-0"
6	1'-0" x 6'-0"
7	1'-0" x 7'-0"
8	1'-0" x 8'-0"
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24	1'-0" x 24'-0"
25	1'-0" x 25'-0"
26	1'-0" x 26'-0"
27	1'-0" x 27'-0"
28	1'-0" x 28'-0"
29	1'-0" x 29'-0"
30	1'-0" x 30'-0"

STATE OF NEW YORK
 DEPARTMENT OF TRANSPORTATION
 ALL CONTRACT STANDARD SHEETS

DAMAGE STRUCTURE DETAILS
 SHEET 1 OF 41

APPROVED WORKSHEET 72 2017
 N.Y. ROAD & B.L. 41
 STATE OF NEW YORK
 604-02

PIETRAK & PAU
 ENGINEERING & SURVEYING, P.C.
 100 WEST 10TH STREET, SUITE 200
 NEW YORK, NY 10011
 TEL: 212-691-1000
 FAX: 212-691-1001
 WWW.PIETRAKANDPAU.COM



PIETZAK & PAU
ENGINEERING & SURVEYING, P.C.
100 WEST 10TH STREET, SUITE 200
NEW YORK, NY 10011
TEL: 212-249-1100
FAX: 212-249-1101
WWW.PIETZAK.COM

ADS PROPERTIES, LLC
CAR WASH
COUNTY OF MADISON, NEW YORK

TURNING ANALYSIS PLAN FOR PASSENGER CAR

DATE: 11/11/11
SCALE: AS SHOWN
PROJECT NO: 11-001

DESIGNED BY: [Signature]
CHECKED BY: [Signature]
DATE: 11/11/11

THIS PLAN IS THE PROPERTY OF PIETZAK & PAU. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF PIETZAK & PAU.

Stormwater Infrastructure Maintenance:

Long term maintenance of all drainage pipes and treatment devices will be the responsibility of the property owners once construction of these items is completed, with the exception of any stormwater infrastructure located in the NYS DOT right-of-way. The stormwater infrastructure located within the NYS DOT right-of-way is the responsibility of the NYS DOT.

Long term maintenance shall include the following:

Inspection: The infrastructure should be inspected periodically for the first few months after construction and on an annual basis thereafter. The drainage infrastructure should also be inspected after major storm events to ensure that the orifices, if any and inlets remain open. Particular attention should be given to:

- Evidence of clogging
- Erosion of the flow path
- Condition of any embankments
- Condition of any spillways
- Accumulation of sediment at the culvert inlets and outlets
- Erosion of bio-swales or riprap aprons
- Sources of erosion in the contributory drainage, which should be stabilized.

Debris and Litter Control: Removal of debris and litter should be accomplished during mowing operations. Particular attention should be given to removing debris and trash around inlets and outlets to prevent clogging.

Erosion Control: Eroding soils in drainage areas should be stabilized immediately with vegetative practices or other erosion control practices. Potential problems are erosion that may occur on the embankment, slopes, and any spillways. Also, attention should be given to repositioning protective riprap where appropriate.

Sediment Removal: Sediment should be removed periodically in order to preserve the available stormwater treatment capacity of the stormwater facilities and, to prevent inlets and outlets from becoming clogged. Also, unless removed, accumulated sediment may become unsightly. While more frequent clean-out may be needed around the inlets and outlets, a typical clean-out cycle for the entire stormwater infrastructure should range from 5 to 6 years or after 25 percent of the water quality volume capacity has been lost. Sediment excavated from the facilities is not considered toxic or hazardous material, and can be safely disposed of by either land application or land filling.