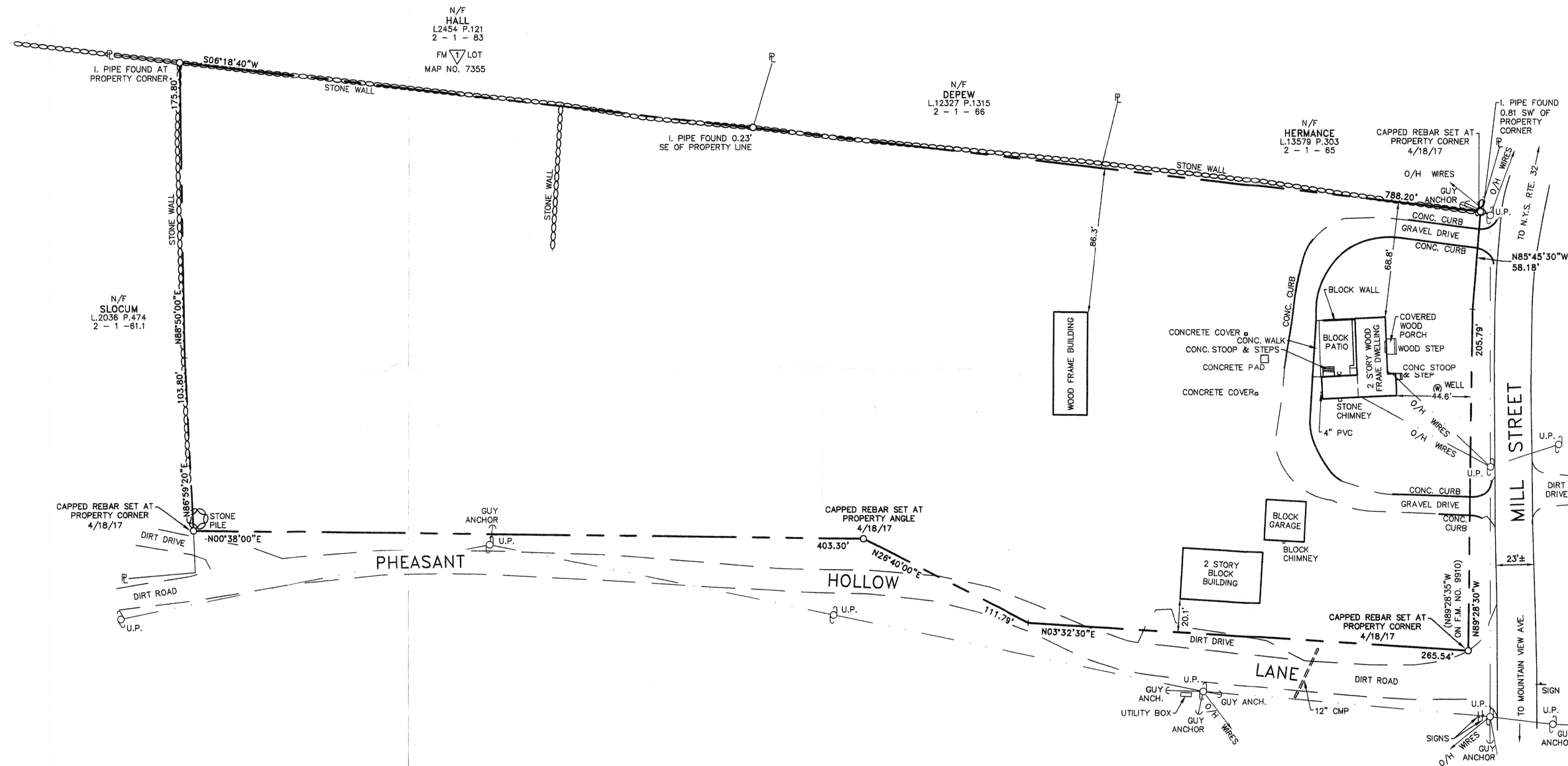


**NOTES:**

1. THIS SURVEY IS SUBJECT TO ANY FINDINGS OF A TITLE SEARCH.
2. SUBSURFACE STRUCTURES AND UTILITIES NOT VISIBLE AT THE TIME OF SURVEY HAVE NOT BEEN SHOWN.
3. REFERENCES:  
 MAP ENTITLED "SUBDIVISION OF SHEA-D-ACRES, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK," DATED APRIL 18, 1990 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON MAY 29, 1990 AS MAP NO. 9910.  
  
 MAP ENTITLED "SUBDIVISION PLAT LANDS OF KENNETH AND CAROL HALL, TOWN OF NEWBURGH, ORANGE COUNTY, NEW YORK," DATED AUGUST 3, 1985, LAST REVISED SEPTEMBER 25, 1985 AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON NOVEMBER 19, 1985 AS MAP NO. 7355.

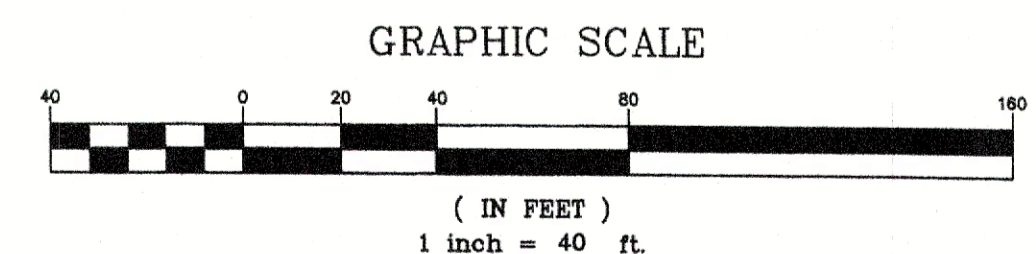
L 5299 P.102



**RECORD OWNER:**

JOHN B. SLOCUM  
 143 MILL STREET  
 WALLKILL, NEW YORK 12589  
 LIBER 5299 OF DEEDS AT PAGE 102  
 TAX LOT: 2 - 1 - 91  
 NO. 3 ON FILED MAP NO. 9910

**AREA:**  
 4.677± AC.



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<b>LANC &amp; TULLY</b> ENGINEERING AND SURVEYING, P.C.		P.O. Box 687, Rt. 207 Goshen, N.Y. 10924 (845) 294-3700
SURVEY PREPARED FOR <b>STODDARD S. HILL</b> AND <b>JAMIEE SPINELLI HILL</b> TOWN OF NEWBURGH ORANGE COUNTY, NEW YORK		Date: APRIL 18, 2017 Revisions:
Drawn By: MJR Checked By:	Scale: 1" = 40' Tax Map No.: 2 - 1 - 91	Drawing No.: 1 OF 1 CSD B - 17 - 0028 - 01

**CERTIFICATION:**

I HEREBY CERTIFY TO THE PARTIES OF INTEREST LISTED BELOW THAT THIS MAP SHOWS THE RESULTS OF AN ACTUAL FIELD SURVEY COMPLETED ON APRIL 18, 2017.

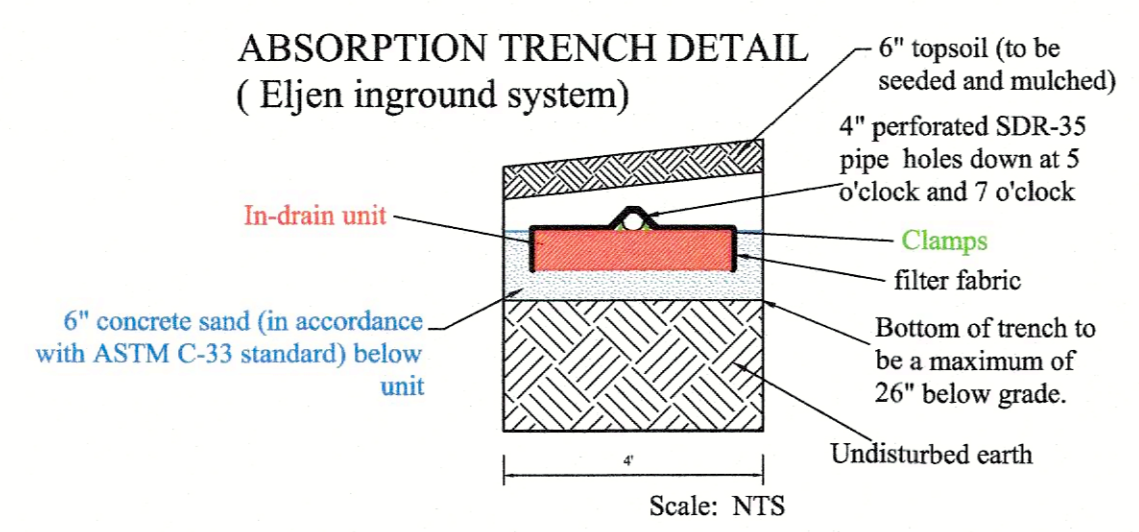
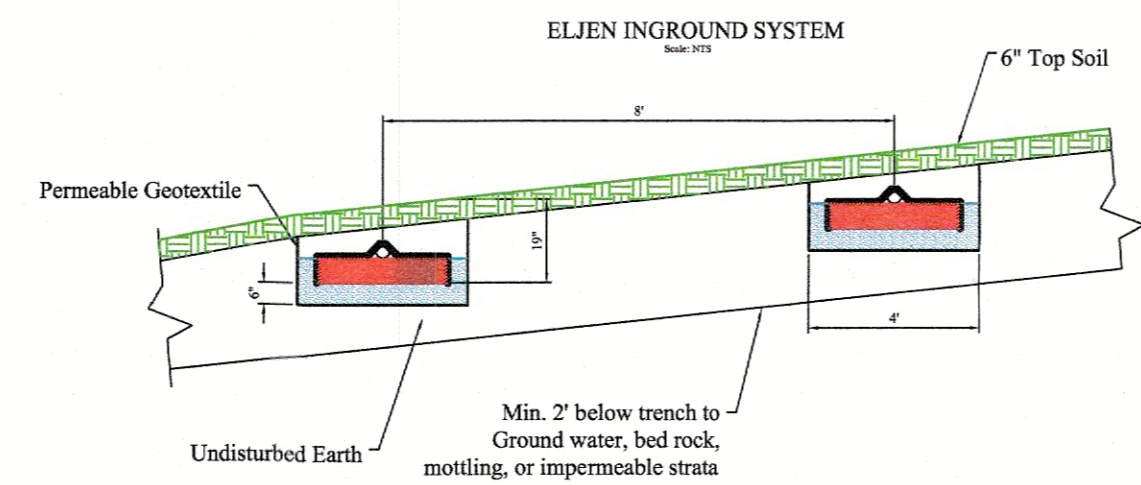
STODDARD S. HILL  
 JAMIEE SPINELLI HILL  
 MAJOR RESIDENCE COND - 10688  
 FIDELITY NATIONAL TITLE INSURANCE COMPANY  
 BY: *Rodney E. Whitton* L.S.  
 RODNEY E. WHITTON, L.S.  
 NEW YORK STATE LICENSE NO. 50276

COPIES FROM THE ORIGINAL OF THIS DOCUMENT NOT MARKED WITH AN ORIGINAL OF THE PROFESSIONAL ENGINEER'S AND/OR LAND SURVEYOR'S STAMP OR EMBOSSED SEAL SHALL NOT BE CONSIDERED VALID, TRUE COPIES.

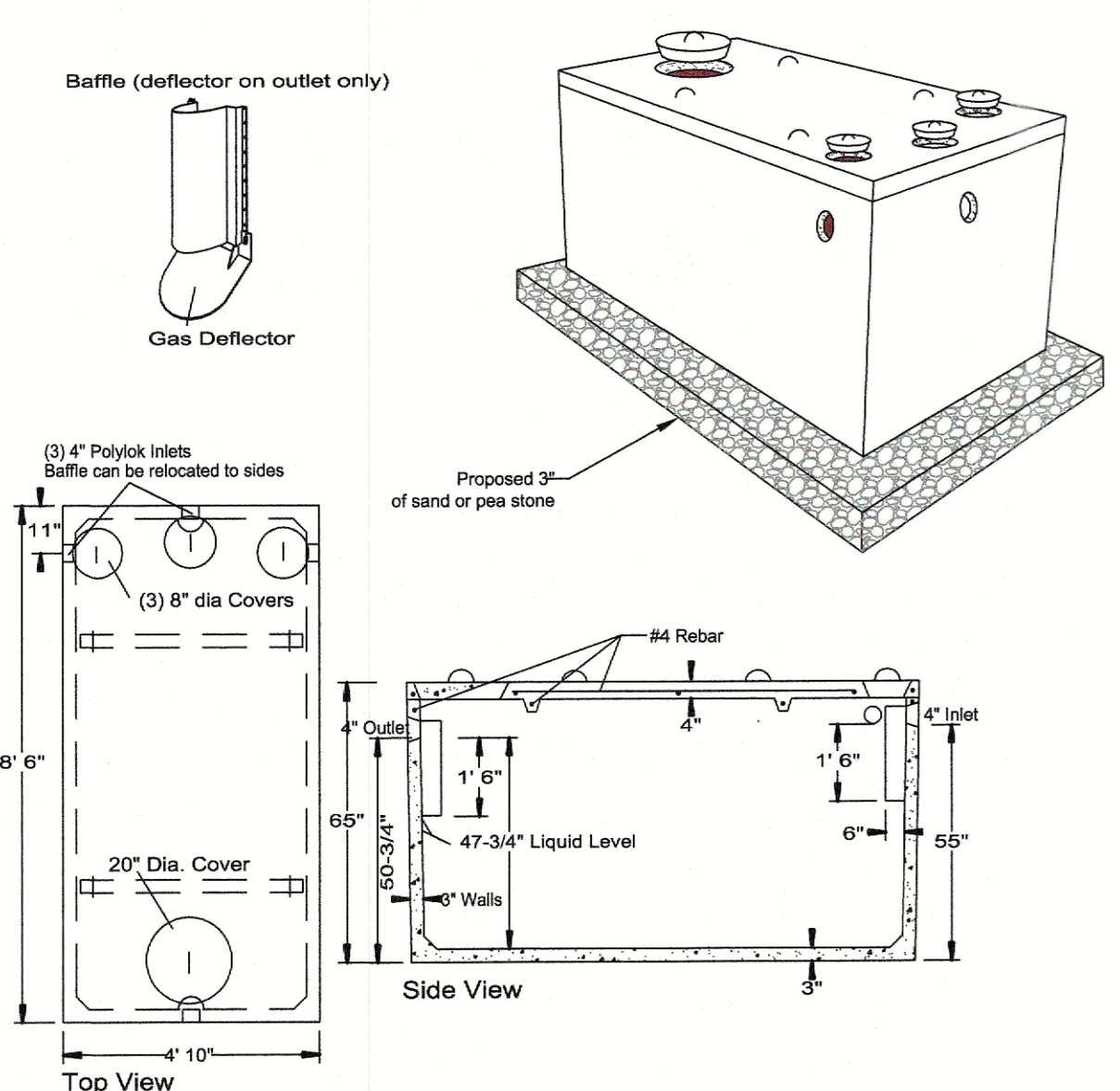
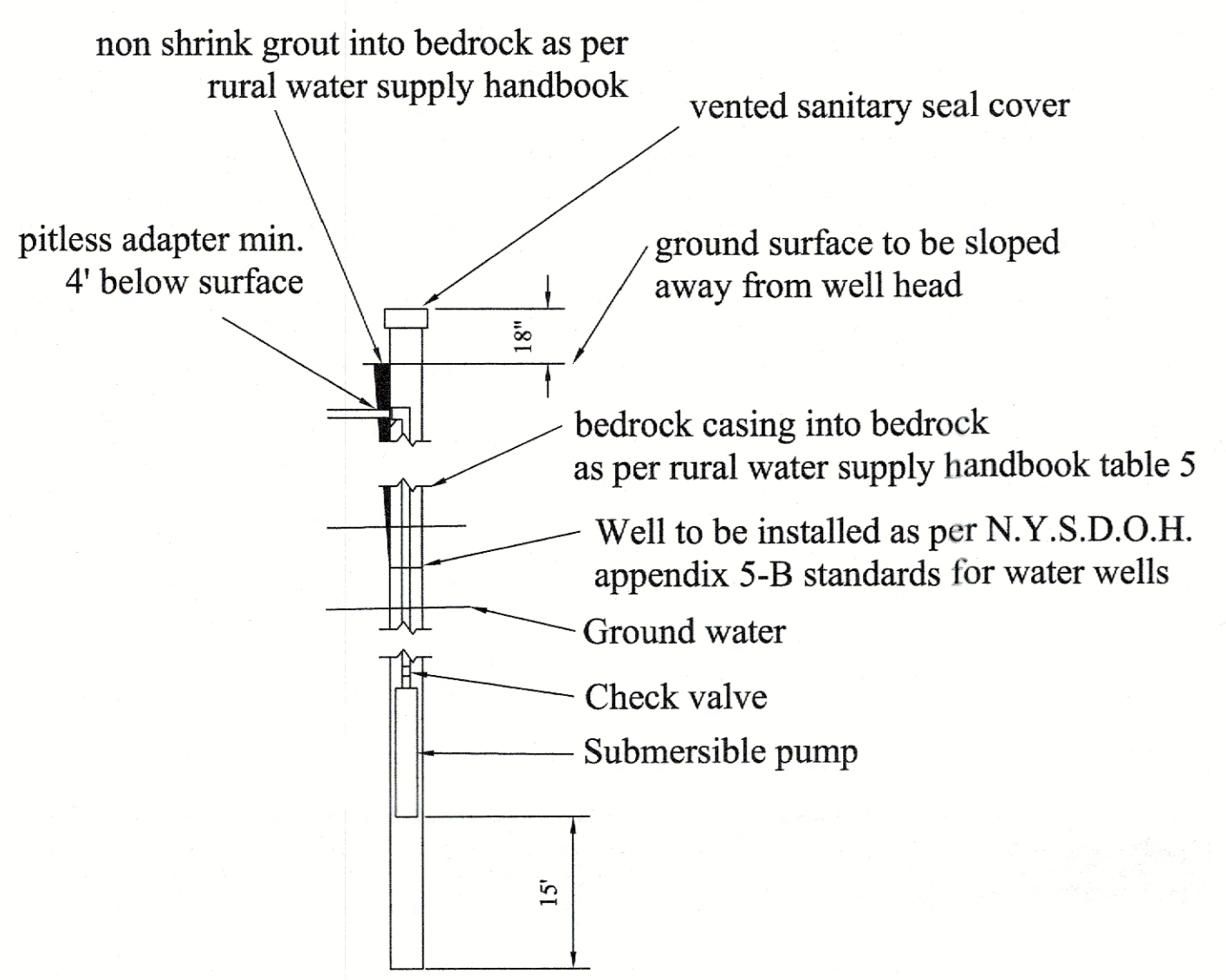
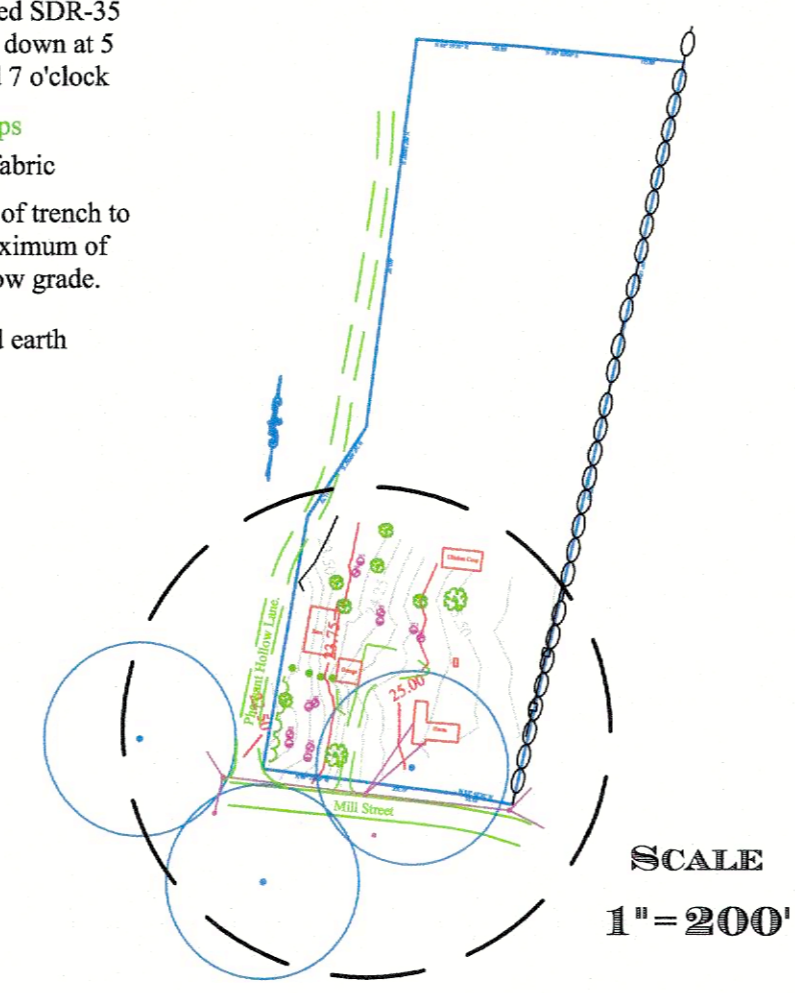
UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209-2 OF THE NEW YORK STATE EDUCATION LAW.

SYSTEM COMPONENTS	WELL OR Suction LINE INLET	STREAM, LAKE, WATERCOURSE OR WETLAND	DWELLING	PROPERTY LINE	DRAINAGE DITCH OR RAIN GARDENS (ft)
HOUSE SEWER DRAIN (w/airtight joints)	25 IF EAST FROM 50 OTHERWISE	25	5	10	10
SEPTIC TANK, COILING TANK OR WATER TIGHT ETU	50	50	10	10	10
EFFLUENT LINE TO DISTRIBUTION BOUVERDIP BOX	50	50	10	10	50
DISTRIBUTION BOUVERDIP BOX	100	100	20	10	50
Absorption Field (60%)	100 (A)	100	20	10	50
SEPARATE PITS (6)	120 (A)	100	20	10	50
RAISED SYSTEM OR MOUND (60%)	100 (A)	100	20	10	50
INTERMITTENT SAND FILTER (6)	100 (A)(F)	100 (F)	20	10	20
NON-WATERBORNE SYSTEMS WITH OFFSITE RESIDUAL DISPOSAL	50	50	20	10	10
NON-WATERBORNE SYSTEMS WITH ONSITE DISCHARGE	100	50	20	10	20

NOTES:  
 a) When wastewater treatment systems are located uphill and in the direct path of surface water drainage to a well, the closest part of the treatment system shall be at least 200 feet away from the well.  
 b) Near high water mark, vertical or watercourse demarcations should be addressed with the L&O or other agency having jurisdiction and the applicable NYSDC regional office.  
 c) For all systems involving the placement of fill material, separation distances are measured from the top of the slope of the fill, except for some shallow absorption trench systems as described in Section 9.2.2 of this Handbook.  
 d) Separation distances that also be measured from the edge of the designated additional variable area (i.e. reserve area), when available.  
 e) The closest part of the wastewater treatment system shall be located at least ten (10) feet from any water service line (e.g. public water supply main, public water service line or residential well water service line).  
 f) When intermittent sand filters are designed to be watertight and collect all effluents, the separation distance can be reduced to 50 feet.  
 g) The filter water well separation distances from contaminant sources shall be increased by 50% whenever aquifer water enters the water well at less than 50 feet below grade.  
 h) A 50% increase cannot be achieved, then the greatest possible increase in separation distance shall be provided with such additional measures as needed to prevent groundwater contamination. Use site evaluation to avoid OHTS shown circulating to the surface or groundwater and to determine required OHTS functionality.  
 i) Embankment or very steep slope: It is recommended that system components be located a minimum of 25 feet and the absorption field be located a minimum of 50 feet from an embankment or very steep slope. Maximum separation distance and use site evaluation to avoid short-circuiting to surface (breakout or seepage).



Sieve Size	Sieve Square Opening Size	Specification Percent Passing (Wet Sieve)
0.375"	9.5 mm	100.0-100.0
#4	4.75 mm	95.0-100.0
#8	2.36 mm	80.0-100.0
#16	1.18 mm	50.0-85.0
#30	600 µm	25.0-60.0
#50	300 µm	5.0-30.0
#100	150 µm	< 10.0
#200	75 µm	< 5.0

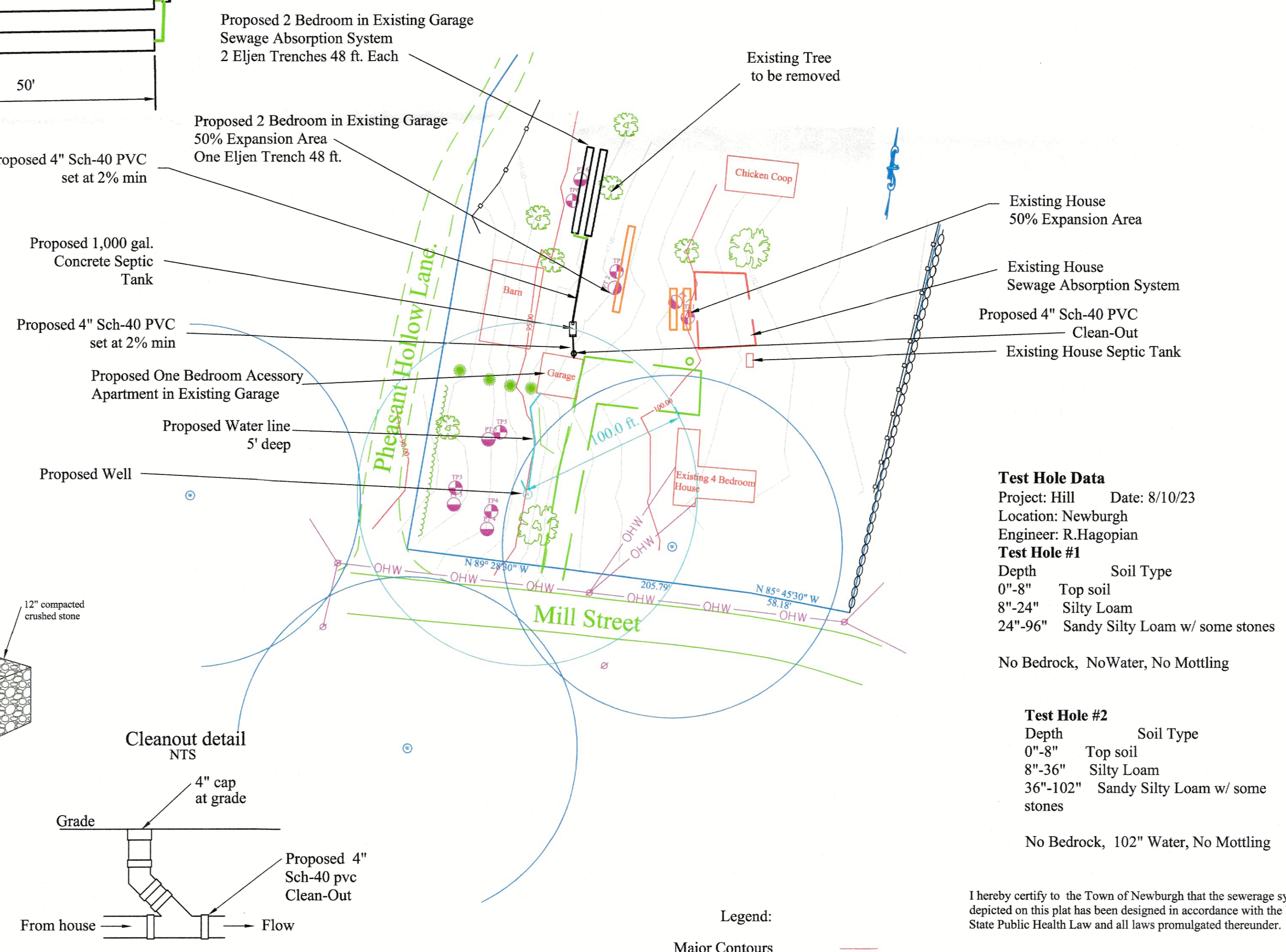


SPECIFICATIONS	PRECAST SEPTIC TANKS MODEL ST-1000 / 1000 GALLONS
Concrete Min. Strength: 4,000 psi at 28 days	Reinforcement: #4 bar gr. 60, Forta Ferro 5 lb/cy
Air Entrainment: 6%	Construction Joint: Butyl Rubber Sealant
Pipe Connection: Polylok Seal (patented)	Weight = 8,700 lbs
Load Rating: 300 psf	

Woodard's Concrete Products, Inc.  
629 Lybolt Road, Bulville, NY 10915  
(845) 361-3471 / Fax 361-1050  
Page 2A 7/17/14  
www.woodardsconcrete.com

SPECIFICATIONS	PRECAST DISTRIBUTION BOXES MODEL DB-18 OUTLET BOX
Concrete Min. Strength: 4,000 psi at 28 days	Reinforcement: Fiber 10ga wire mesh
Air Entrainment: 6%	Construction Joint: Polylok Seal (patented)
Pipe Connection: Polylok Seal (patented)	Load Rating: 300 psf
Weight = 200 lbs	

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ORANGE COUNTY HEALTH DEPARTMENT STANDARD NOTES:  
 a. The design and location of sanitary facilities (water and sewer systems) shall not be changed.  
 b. All wells and septic systems within 200' of this project have been located and are shown on the plans.  
 c. Trenches shall not be installed in wet soil. The sides and bottoms of the trenches must be raked. The ends of the laterals must be capped.  
 d. There shall be no regrading, except as shown on the approved plans, in the area of the absorption fields.  
 e. Heavy equipment shall be kept off the area of the absorption fields except during the actual construction. There shall be no unnecessary movement of construction equipment in the absorption field area before, during, or after construction. Extreme care must be taken during the actual construction so as to avoid any undue compaction that could result in a change of the absorption capacity of the soil on which the design was based.  
 f. No swimming pools, driveways, or structures that may compact the soil shall be located over any portion of the absorption field.  
 g. This system was not designed to accommodate garbage grinders, Jacuzzi type spa tubs over 100 gallons, or water conditioners. As such, these items shall not be installed unless the system is redesigned to account for them and reapproved by the Orange County Health Department.  
 h. There must be an uninterrupted positive slope from the septic tank (or any pumping or dosing chamber) to the house, allowing septic gases to discharge through the stack vent.  
 i. The owner/ applicant shall be provided with a copy of the approved plans and an accurate as-built drawing of any existing sanitary facilities.  
 j. A New York State licensed professional engineer (or other Designated Professional as allowed by the NYS Education Department) shall inspect the sanitary facilities (water supply, any water treatment, and sewage disposal facilities) at the time of construction. Prior to occupancy of the dwelling, the engineer shall certify to the Orange County Department of Health and the local code enforcement officer that the facilities have been installed in accordance with the approved plans and that any septic tank joints have been sealed and tested for water tightness.  
 k. Individual wells and sewage disposal systems shall no longer be constructed or used for household domestic purposes when public facilities become available. Connection to the public sewer system is required within 1 year of availability.  
 l. Orange County Department of Health plan approval is limited to 5 years. Time extensions for plan approval may be granted by the Orange County Department of Health based upon development facts and the realty subdivision regulations in effect at that time. A new plan subdivision may be required to obtain time extension.

DESIGN NOTES:  
 1. The design goal is for a proposed 1 bedroom residence in existing garage building  
 2. Theoretical flow: 1 bedrooms x 110 gal per day/bedroom = 110gal/day.  
 3. Stabilized percolation rate: 50 min. per inch. Req. 110/0.45/6= 41ft.  
 4. Proposed 2 Eljen Laterals at 48ft. w/50 ft. of sand, each placed 8 ft. on center.  
 5. Average slope of existing soil in area of proposed system is 5%.  
 6. Proposed Septic Tank: 1,000 gal. Concrete tank.  
 7. Existing House 50% expansion: 4 Bedroom x 50%, 220 gpd/0.8/6= 46 ft. of Eljen  
 Propose two Eljen Laterals at 24 ft.

CONSTRUCTION NOTES:  
 1. All boulders and trees to be removed from the septic absorption area (roots to remain).  
 2. All work in the septic absorption system area shall not be performed while soil is wet or moist.  
 3. Contractor to confirm property boundaries prior to construction of system. If the Owner is unsure of the property lines, a survey showing the exact property lines and easement must be marked.  
 4. The bottom of each absorption lateral must be level.  
 5. If any part of this plan is unclear to the contractor, the contractor must contact the engineer noted below for clarification prior to proceeding any work.  
 6. Each absorption lateral must connect directly to the distribution box with a solid SDR-35 PVC pipe (min. slope 1/16" per foot). Pipe laterals to be set level with endcaps on ends.  
 7. 4" Sch-40 PVC pipe from septic tank to the distribution box to have a min. slope of 1/8" per foot.  
 8. D-box to be set on a 12"(min.) bed of sand or pea gravel. Septic Tank to be set on a 3" bed of sand or pea gravel.  
 9. The absorption system must be installed a minimum of 10 ft. from the property line.

MAINTENANCE:  
 1. The septic tank should be checked for pumping every three years and pumped every three to five years or as necessary.  
 2. The absorption system must be maintained with a grass cover and mowed (grass should not exceed 12").  
 3. No trees or bushes shall be placed on or within 10' of the absorption system.  
 4. No heavy equipment, vehicles, structures, swimming pools, or other items that could compact the soil or damage the absorption system shall be placed over the absorption system.  
 5. No discharge from any water treatment system should be placed into the septic tank (i.e. softener backwash).  
 6. It is recommended that the owners monitor the water usage.

Test Hole #3	Soil Type	Test Hole #4	Soil Type
Depth 0"-8"	Top soil	Depth 0"-8"	Top soil
8"-24"	Clay Loam	8"-24"	Clay Loam
24"-48"	Sandy Silty Loam	24"-40"	Silty Clay Loam
48"-96"	Sandy Gravelly Loam with some mottling	40"-66"	Silty Sandy Loam
No Bedrock, 54" Water, 48" Mottling		66"-96"	Mottled Sandy Clay Loam
		No Bedrock, 66" Water, No Mottling	

Test Hole #5	Soil Type	Test Hole #6	Soil Type
Depth 0"-8"	Top soil	Depth 0"-8"	Top soil
8"-24"	Silty Loam	8"-36"	Silty Loam
24"-66"	Sandy Silty Loam	36"-60"	Silty Sandy Clay Loam
66"-96"	Silty Sandy Loam w/ some mottling	60"-96"	Silty Sandy Clay Loam w/ some mottling
No Bedrock, 66" Water, No Mottling		No Bedrock, No Water, 60" Mottling	

PERCOLATION TEST DATA:	Run 1 min.	Run 2	Run 3	Run 4	Run 5	Final stabilized rate
Date 8-11-23						
Percolation test #1 @ 24"	5	6	6			6 min.
Percolation test #2 @ 24"	13	13	13			13 min.
Percolation test #3 @ 24"	1 1/2" 1hr.					Failed
Percolation test #4 @ 24"	3/4" 1.5 hrs					Failed
Percolation test #5 @ 24"	1/4" 1 hr.					Failed
Percolation test #6 @ 24"	16	50	50			50 min.

OWNER/Site ADDRESS:  
 Mr. and Mrs. Hill  
 149 Mill Street  
 Walkkill, NY 12589  
 Tax map # 2-1-91  
 PRIOR TO EXCAVATION CALL 1-800-962-7962

**HAGOPIAN ENGINEERING**  
 118 GRAND STREET, KINGSTON NY, 12401

**PROPOSED PROJECT**

**HILL**

**TOWN OF NEWBURGH**

DATE	SCALE	SHEET NO.
3/4/24	1"=50'	SEPTIC DESIGN 1 OF 1

Boundary information on this plan was taken from a Survey Map by Lanc & Tulley PC dated April 18, 2017 provided by the owner. The topography, created by Hagopian Engineering field measurements from 8-11-23. The elevation datum is arbitrary.

It is a violation of law for any person, unless he or she is acting under the direction of a licensed professional engineer, to alter any item in any way of this plan. If any item bearing the seal of an engineer is altered, the altering engineer shall affix to the item his or her seal and the notation, "Altered By" followed by his or her signature and the date of such alteration, and a specific description of the alteration.

Legend:  
 Major Contours  
 Minor Contours  
 Percolation Test  
 Deep Hole Soil Test

I hereby certify to the Town of Newburgh that the sewerage system depicted on this plan has been designed in accordance with the New York State Public Health Law and all laws promulgated thereunder.

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA table with columns for WIND, TEMPERATURE, HUMIDITY, and other environmental factors. Includes a sub-table for MANUAL J DESIGN CRITERIA with columns for ELEVATION, LATITUDE, HEATING, etc.



EXISTING GARAGE CONVERSION INTO:
ACCESSORY APARTMENT
FOR:
TODD AND JAMIEE HILL
149 MILL STREET, WALKKILL, NY
(TOWN OF NEWBURGH)
SBL: 2-1-91

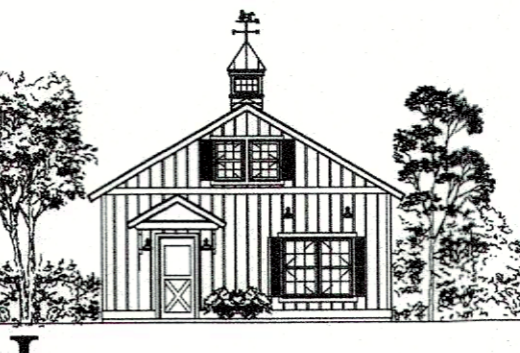


TABLE 402.4.1.1 AIR BARRIER AND INSULATION INSTALLATION. A grid-based table with columns for COMPONENT, AIR BARRIER CRITERIA, INSULATION INSTALLATION CRITERIA, and rows for GENERAL REQUIREMENTS, CEILING/ATTIC, WALLS, WINDOWS, etc.

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE CITY, VILLAGE OR TOWN ZONING ORDINANCES AND BUILDING CODE REQUIREMENTS...
2. THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, EQUIPMENT, UTILITIES AND OTHER SERVICES NECESSARY FOR THE COMPLETE CONSTRUCTION OF THIS PROJECT.
3. THE GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND CHECK ALL MEASUREMENTS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING WORK.

PROTECTION AGAINST DECAY AND TERMITES

1. ALL WOOD USED IN AREAS SPECIFIED BELOW SHALL BE NO. 2 GRADE OR BETTER PRESURE PRESERVATIVELY TREATED SUCH AS WOOD IN CONTACT WITH GROUND, SUPPORTING PERMANENT STRUCTURES, JOISTS CLOSER THAN 18" TO GROUND, SILL PLATES CLOSER THAN 8" TO GROUND, PLATES FASTENED TO CONCRETE IN CONTACT WITH GROUND, EXTERIOR WOOD SIDING, SHEATHING OR WALL FRAMING LESS THAN 6" FROM GROUND, WOOD STRUCTURAL MEMBERS SUPPORTING MOISTURE PERMEABLE FLOORS OR ROOFS THAT ARE EXPOSED TO WEATHER OR WOOD ATTACHED TO MASONRY OR CONCRETE WITHOUT AN APPROVED VAPOR BARRIER, ALL PRESERVATIVELY TREATED WOOD PRODUCTS IN CONTACT WITH THE GROUND SHALL BE LABELED FOR SUCH USAGE.

ENERGY NOTES

(COMPLYING WITH THE MANDATORY SECTIONS OF THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE CODE SECTIONS R103.03, R402.01, R402.03, AND R403.05 APPLICABLE)
1. CONSTRUCTION DOCUMENTS WITH THE SEAL & SIGNATURE OF THE DESIGN PROFESSIONAL ARE INCLUDED IN THESE DOCUMENTS.
2. AN R-VALUE IDENTIFICATION MARK SHALL BE APPLIED BY THE MANUFACTURER TO EACH PIECE OF BUILDING THERMAL ENVELOPE INSULATION 12" OR GREATER IN WIDTH.

SCOPE OF WORK

EXISTING DETACHED GARAGE WILL BE CONVERTED INTO AN ACCESSORY STUDIO APARTMENT, AS PER THE TOWN OF NEWBURGH ZONING CODE. AN ACCESSORY APARTMENT MUST MEET THE FOLLOWING CRITERIA:
A. Accessory units shall be permitted as accessory use provided in the Town of Newburgh Zoning Code and are subject to the following conditions:
1. To be used for residential purposes only.
2. To be located on the same lot as the principal residence.

CONCRETE AND FOUNDATIONS (NOT APPLICABLE)

1. ALL FOOTINGS SHALL BEAR ON UNDISTURBED VIRGIN SOIL HAVING A MINIMUM SAFE BEARING CAPACITY OF 1500 POUNDS PER SQUARE FOOT. DO NOT PLACE FOOTINGS ON FROZEN GROUND UNLESS OTHERWISE SPECIFIED. THE FOUNDATION SHALL BE DESIGNED FOR TYPE III PER 518-BG AND ALL TYPE III SOILS AS DESCRIBED IN TABLE R-404.4.1 (1) OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE. THE MAXIMUM BACKFILL HEIGHT FOR 10" THICK X 9'-0" HIGH REINFORCED CONCRETE WALLS SHALL BE 8'-0" ABOVE TOP OF FOOTING. SEE TYPICAL WALL SECTION FOR FOUNDATION WALL REINFORCING REQUIREMENTS.

PLUMBING AND HEATING

1. ALL PLUMBING & HEATING WORK SHALL MEET OR EXCEED THE REQUIREMENTS OF PART VII OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.
2. ALL PLUMBING SHALL BE INSPECTED AND APPROVED BY A LICENSED UNDERWRITER OFFICIAL.

CODE STATEMENT

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS HAVE BEEN DRAWN IN COMPLIANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AS WELL AS THE 2020 ENERGY CONSERVATION AND CONSTRUCTION CODE OF NEW YORK STATE.
TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS MEET OR EXCEED THE SPECIFICATIONS REFLECTED IN THE CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA AND THE MANUAL J DESIGN CRITERIA TABLES SUBMITTED FOR THE REGION THAT THE RESIDENCE IS BEING CONSTRUCTED IN.

INSULATION & FENESTRATION REQUIREMENTS BY ResCheck ENERGY COMPLIANCE REPORT

Table with 12 columns: CLIMATE TYPE, FENESTRATION U-FACTOR, SKYLIGHT U-FACTOR, GLAZED FENESTRATION shgc, CEILING R-VALUE, WOOD-FRAME WALL R-VALUE, FLOOR R-VALUE, BASEMENT WALL R-VALUE, SLAB R-VALUE. Includes a row for ORANGE COUNTY and a contractor certification line.

Project Name: EXISTING GARAGE CONVERSION INTO: ACCESSORY STUDIO APARTMENT FOR: TODD AND JAMIEE HILL
149 MILL STREET, WALKKILL, NY TOWN OF NEWBURGH, NY
SBL: 2-1-91
Drawing Title: GENERAL NOTES, ENERGY NOTES, CLIMATIC & GEOGRAPHIC DESIGN CRITERIA, MANUAL J DESIGN CRITERIA, AIR BARRIER & INSULATION INSTALLATION.
Project No.: 23-126

Tarryn A. Kamrowski, Architect
88 Coldenham Road Walden N.Y. 12586
Tel: (845) 778-4254 Fax: (845) 778-7641
Email: sld@frontiernet.net

Professional seal of Tarryn A. Kamrowski, Architect, State of New York. Includes drawing title 'A-1', drawing number '1' in a circle, and date 'OCTOBER 2023'.

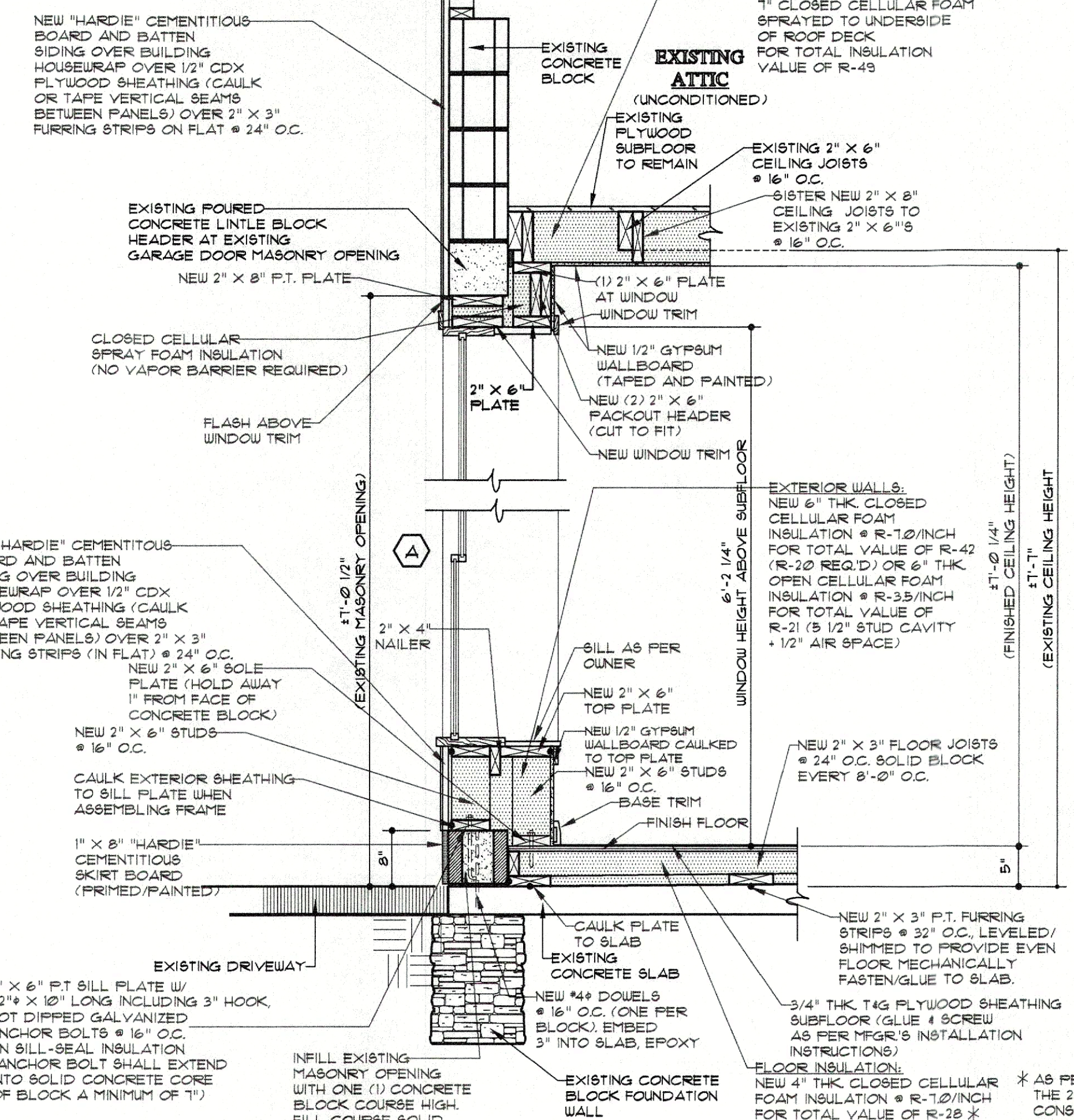
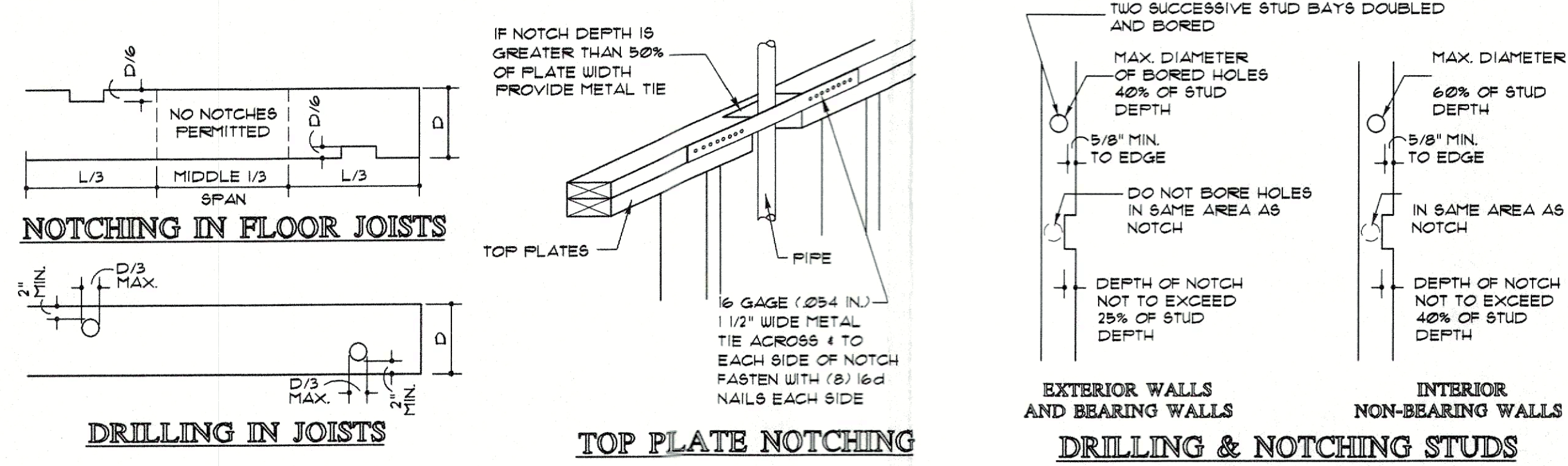
# FASTENER SCHEDULE:

FASTENER SCHEDULE 2021 INTERNATIONAL RESIDENTIAL CODE TABLE R602.3(1)			
DESCRIPTION OF BUILDING ELEMENTS	NUMBER & TYPE OF FASTENERS (a, b, c)	SPACING & LOCATION	DESCRIPTION OF BUILDING ELEMENTS
<b>ROOF</b>			
BLOCKING BETWEEN CLG. JOISTS, RAFTERS OR TRUSSES TO TOP PLATE OR OTHER FRAMING BELOW	4-8d BOX OR 3-10d BOX OR 3-7" X 0.131" NAILS	TOE NAIL (TN)	22 JOIST TO SILL TOP PLATE OR GIRDER
BLOCKING BETWEEN RAFTERS OR TRUSS NOT AT THE WALL TOP PLATES, OR RAFTER TO TRUSS	2-8d COMMON OR 2-3" COMMON OR 2-2d COMMON OR 3-7" X 0.131" NAILS	EACH END TOE NAIL (TN) END NAIL (EN)	23 RM JOIST, BAND JOIST OR BLOCKING TO SILL OR TOP PLATE (ROOF APPLICATIONS ALSO)
FLAT BLOCKING TO TRUSS AND WEB FILLER	16d COMMON OR 3-7" X 0.131" NAILS	6" O.C. FACE NAIL	24 1" X 6" SUBFLOOR OR LESS TO EACH JOIST
CEILING JOISTS TO TOP PLATE	4-8d BOX OR 3-8d COMMON OR 3-10d BOX OR 3-7" X 0.131" NAILS	PER JOIST, TOE NAIL	25 2" SUBFLOOR TO JOIST OR GIRDER
CLG. JOIST NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS	3-10d COMMON OR 3-7" X 0.131" NAILS	FACE NAIL (FN)	26 2" PLANKS (PLANK & BEAM - FLOOR & ROOF)
CLG. JOIST ATTACHED TO PARALLEL RAFTER (HEEL JOINT)	AS PER TABLE R 602.2 (1)	FACE NAIL	27 BAND OR RM JOIST TO JOIST
COLLAR TIE TO RAFTER, FACE NAIL	4-10d BOX OR 3-10d COMMON OR 4-3" X 0.131" NAILS	FACE NAIL	28 BUILT UP ORDERS & BEAMS, 2" LUMBER LAYERS
RAFTER OR ROOF TRUSS TO PLATE	3-16d BOX OR 3-10d COMMON OR 4-10d COMMON OR 4-3" X 0.131" NAILS	2 TOE NAILS ON ONE SIDE & 1 TOE NAIL ON OTHER SIDE OF EA. RFR. OR TRUSS	29 LEDGER STRIP SUPPORTING JOISTS OR RAFTERS
ROOF RAFTERS TO RIDGE VALLEY OR HP RAFTERS OR ROOF RAFTER TO MIN. 2" RIDGE BEAM	4-16d BOX OR 3-10d COMMON OR 4-10d COMMON OR 4-3" X 0.131" NAILS	TOE NAIL	30 BRIDGING OR BLOCKING TO JOIST, RAFTER TO TRUSS
<b>WALL</b>			
STUD TO STUD (NOT AT BRACED WALL PANELS)	16d COMMON OR 16d BOX OR 3" X 0.131" NAILS	24" O.C. FACE NAIL	31 3/8" TO 1/2"
STUD TO STUD AND ABUTTING STUDS AT INTERSECTING WALL CORNERS (AT BRACED WALL PANELS)	16d COMMON OR 16d BOX OR 3" X 0.131" NAILS	12" O.C. FACE NAIL	
BUILT UP HEADER (2" TO 2" HEADER W/ 1/2" SPACER)	16d COMMON OR 16d BOX OR 3" X 0.131" NAILS	16" O.C. EDGE FACE NAIL	32 19/32" TO 3/4"
CONTINUOUS HEADER TO STUD	16d COMMON OR 16d BOX OR 3" X 0.131" NAILS	12" O.C. EACH FACE NAIL	
ADJACENT FULL HEIGHT STUD TO END OF HEADER	4-16d BOX OR 3-16d COMMON OR 4-10d COMMON OR 4-3" X 0.131" NAILS	END NAIL	33 7/8" - 1 1/4"
TOP PLATE TO TOP PLATE	16d COMMON OR 16d BOX OR 3" X 0.131" NAILS	16" O.C. FACE NAIL	
DOUBLE TOP PLATE SPURCE	8-16d COMMON OR 12-10d BOX OR 12-5" X 0.131" NAILS	FACE NAIL ON EACH SIDE OF END JOINT, 24" LAP SPURCE LENGTH (EACH SIDE OF END JOINT)	34 1 1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING
BOTTOM PLATE TO JOIST, RM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	16d COMMON OR 16d BOX OR 3" X 0.131" NAILS	16" O.C. FACE NAIL	
ROOF	3-16d BOX OR 2-16d COMMON OR 4-2" X 0.131" NAILS	16" O.C. FACE NAIL	36 3/4" AND LESS
TOP OR BOTTOM PLATE TO STUD	3-16d BOX OR 4-10d COMMON OR 3-7" X 0.131" NAILS	TOE NAIL	
TOP PLATES, LAPS AT CORNERS & INTERSECTIONS	3-10d BOX OR 2-8d COMMON OR 2-10d COMMON OR 2-10d BOX OR 3-7" X 0.131" NAILS	FACE NAIL	40 1 1/8" TO 1 1/4"
1" BRACE TO EACH STUD & PLATE	3-8d BOX OR 2-8d COMMON OR 2-10d COMMON OR 2-10d BOX OR 3-7" X 0.131" NAILS	FACE NAIL	
1" X 6" SHEATHING TO EACH BEARING	3-8d BOX OR 2-8d COMMON OR 2-10d COMMON OR 2-10d BOX OR 3-7" X 0.131" NAILS	FACE NAIL	
1" X 8" & WIDER SHEATHING TO EACH BRG.	3-8d BOX OR 3-16d COMMON OR 3-10d COMMON OR 3-10d BOX OR 4-3" X 0.131" NAILS	FACE NAIL	

### FOOTNOTES TO FASTENER SCHEDULE

- NAILS ARE SMOOTH COMMON, BOX OR DEFORMED SHANKS EXCEPT WHERE OTHERWISE STATED. NAILS USED FOR FRAMING & SHEATHING CONNECTIONS SHALL HAVE MINIMUM YIELD STRENGTHS AS FOLLOWS: 80 KSI FOR SHANK DIAMETERS OF 0.192" (20d COMMON NAIL), 90 KSI FOR SHANK DIAMETERS LARGER THAN 0.142" BUT NOT LARGER THAN 0.177", AND 100 KSI FOR SHANK DIAMETERS OF 0.142" OR LESS. CONNECTIONS USING NAILS AND STAPLES OF OTHER MATERIALS, SUCH AS STAINLESS STEEL, SHALL BE DESIGNED BY ACCEPTED ENGINEERING PRACTICE OR APPROVED UNDER THE ADMINISTRATIVE PROVISIONS OF THE UNIFORM CONSTRUCTION CODE (N.J.A.C.5:23)
- RRS-01 IS A ROOF SHEATHING RING SHANK NAIL MEETING THE SPECIFICATIONS OF ASTM F1667
- NAILS SHALL BE SPACED AT NOT MORE THAN 6" O.C. AT ALL SUPPORTS WHERE SPANS ARE 48" OR GREATER.
- FOUR-FOOT BY EIGHT-FOOT OR FOUR-FOOT BY NINE-FOOT PANELS SHALL BE APPLIED VERTICALLY.
- SPACING OF FASTENERS NOT INCLUDED IN THIS TABLE SHALL BE BASED ON TABLE R602.3 (2).
- FOR WOOD STRUCTURAL PANEL SHEATHING ATTACHED TO THE GABLE END ROOF FRAMING AND TO INTERMEDIATE SUPPORTS WITHIN 48" OF ROOF EDGES AND RIDGES, NAILS SHALL BE SPACED 4" O.C. WHERE THE ULTIMATE DESIGN WIND SPEED IS GREATER THAN 130 MPH IN EXPOSURE B OR GREATER THAN 110 MPH IN EXPOSURE C.
- GYPSUM SHEATHING SHALL CONFORM TO ASTM C 1396 AND SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C1280 OR GA 253. FIBERBOARD SHEATHING SHALL CONFORM TO ASTM C 208.
- SPACING OF FASTENERS ON ROOF SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND REQUIRED BLOCKING AT ALL FLOOR PERIMETERS ONLY. SPACING OF FASTENERS ON ROOF SHEATHING PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND REQUIRED BLOCKING AT ALL FLOOR PERIMETERS ONLY. SPACING OF FASTENERS ON ROOF SHEATHING PANEL EDGES PERPENDICULAR TO THE FRAMING MEMBERS NEED NOT BE PROVIDED EXCEPT AS REQUIRED BY OTHER PROVISIONS OF THIS CODE. FLOOR PERIMETER SHALL BE SUPPORTED BY FRAMING MEMBERS OR SOLID BLOCKING.
- WHERE A RAFTER IS FASTENED TO AN ADJACENT PARALLEL CEILING JOIST IN ACCORDANCE WITH THIS SCHEDULE, THE TOE NAIL ON ONE SIDE OF THE OTHER RAFTER AND TOE NAILS FROM THE CEILING JOISTS TO TOP PLATE IN ACCORDANCE WITH THIS SCHEDULE, THE TOE NAIL ON THE OPPOSITE SIDE OF THE RAFTER SHALL NOT BE REQUIRED.

## DRILLING, NOTCHING & BORING DETAILS:



## MECHANICAL VENTILATION SYSTEM FAN EFFICACY

2020 NYS TABLE 403.6.1

FAN LOCATION	AIR FLOW RATE (MIN.) (CFM)	MINIMUM EFFICACY (CFM/WATT)	AIR FLOW RATE (MAX.) (CFM)
HRV OR ERV	ANY	12 CFM/WATT	ANY
RANGE HOODS	ANY	2.8 CFM/WATT	ANY
IN-LINE FAN	ANY	2.8 CFM/WATT	ANY
BATHROOM, UTILITY ROOM	10	14 CFM/WATT	< 90
BATHROOM, UTILITY ROOM	90	2.8 CFM/WATT	ANY

THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKE AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.

MECHANICAL VENTILATION SHALL MEET THE EFFICACY OF TABLE 403.6.1. EXCEPTION: WHERE MECHANICAL VENTILATION FANS ARE INTEGRAL TO TESTED AND LISTED HVAC EQUIPMENT, THEY SHALL BE POWERED BY AN ELECTRONICALLY COMPUTATED MOTOR.

2020 NYS TABLE M1505.4.4  
**MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE AND TWO FAMILY DWELLINGS**

AREA TO BE EXHAUSTED	EXHAUST RATES
KITCHEN	100 CFM INTERMITTENT OR 25 CFM CONTINUOUS
BATHROOMS - TOILET ROOMS	100 CFM INTERMITTENT OR 25 CFM CONTINUOUS INTERMITTENT OR 20 CFM CONTINUOUS

AS PER TABLE M1505.4.4 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, A 50 CFM CONTINUOUS WHOLE HOUSE MECHANICAL VENTILATION SYSTEM SHALL BE PROVIDED.

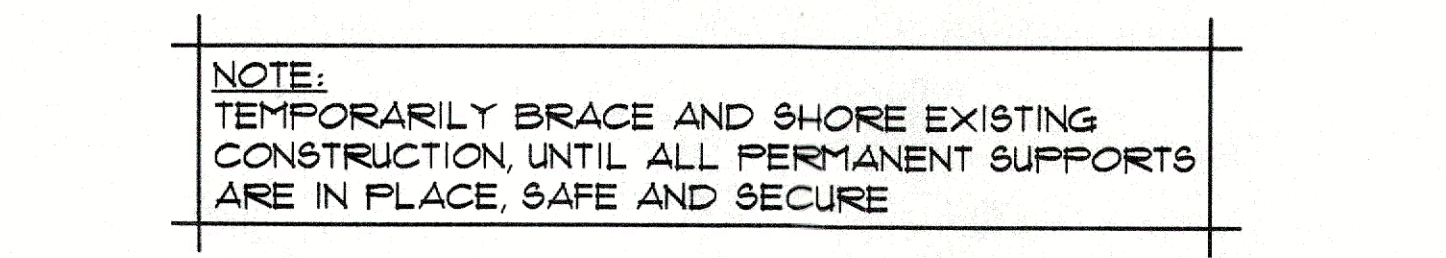
580 SQ. FT. 1 BEDROOM

THE WHOLE HOUSE VENTILATION SYSTEM SHALL CONSIST OF ONE OR MORE SUPPLY OR EXHAUST FANS, OR A COMBINATION OF SUCH, AND ASSOCIATED DUCTS AND CONTROLS. LOCAL EXHAUST OR SUPPLY FANS ARE PERMITTED TO SERVE AS SUCH A SYSTEM. OUTSIDE AIR DUCTS CONNECTED TO THE RETURN SIDE OF AN AIR HANDLER SHALL BE CONSIDERED AS PROVIDING SUPPLY VENTILATION. THE WHOLE HOUSE MECHANICAL VENTILATION SYSTEM SHALL PROVIDE OUTDOOR AIR AT A CONTINUOUS RATE

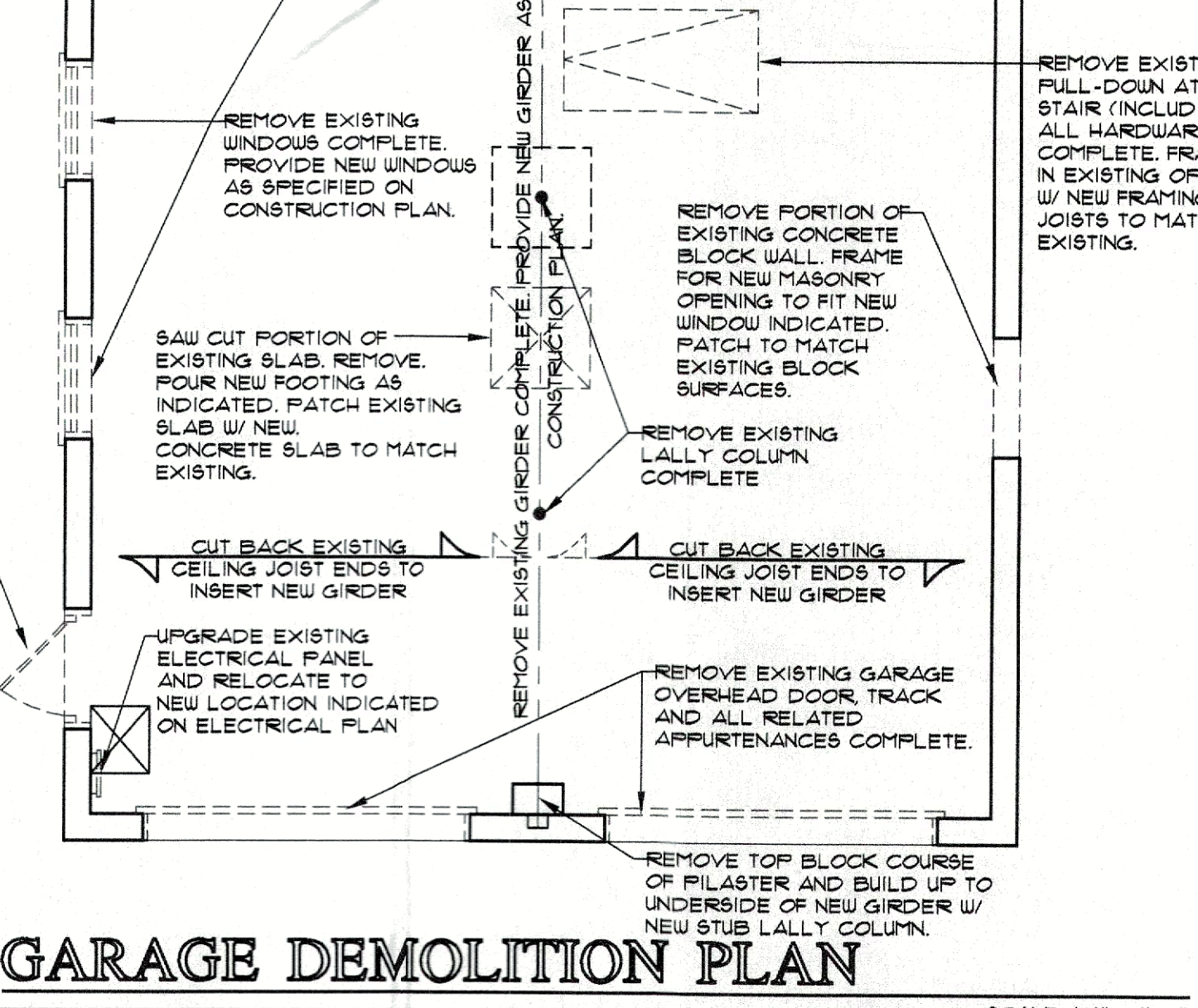
THE WHOLE HOUSE SYSTEM IS PERMITTED TO OPERATE INTERMITTENTLY WHERE THE SYSTEM HAS CONTROLS THAT ENABLE OPERATION FOR NOT LESS THAN 50% OF EACH 4 HOUR SEGMENT AND THE VENTILATION RATE PRESCRIBED ABOVE IS MULTIPLIED BY THE FACTOR OF 2 (30 CFM X 2 = 60 CFM)

ONE (1) BATHROOM EXHAUST FAN IS PROVIDED AT 60 CFM MINIMUM

## ATTIC DEMOLITION PLAN



**NOTE:** TEMPORARILY BRACE AND SHORE EXISTING CONSTRUCTION, UNTIL ALL PERMANENT SUPPORTS ARE IN PLACE, SAFE AND SECURE



## GENERAL DEMOLITION NOTES

- PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF AREAS TO BE DEMOLISHED AND ADJACENT FACILITIES TO REMAIN.
- CEASE OPERATION AND NOTIFY ARCHITECT IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO SUPPORT STRUCTURE UNTIL DETERMINATION IS MADE FOR CONTINUING OPERATIONS.
- COVER AND PROTECT FURNITURE, EQUIPMENT AND FIXTURES FROM SOILAGE OR DAMAGE WHEN DEMOLITION WORK IS PERFORMED IN AREAS WHERE SUCH ITEMS HAVE NOT BEEN REMOVED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING OF ALL DEBRIS CAUSED BY DEMOLITION. THE CONTRACTOR SHALL NOT ALLOW ANY EXCESSIVE DEBRIS TO ACCUMULATE ON THE SITE AT ANY TIME.
- DEMOLITION DRAWINGS DO NOT INCLUDE MECHANICAL/ELECTRICAL DRAWINGS AND ITS AFFECTS ON DEMOLITION OF GENERAL CONSTRUCTION ITEMS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING ELEMENTS TO REMAIN FROM ANY DAMAGE DURING DEMOLITION.
- THE CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING ADJACENT CONSTRUCTION AS MAY BE REQUIRED AFTER DEMOLITION TO PROVIDE A COMPLETE INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING OF ALL DEBRIS CAUSED BY DEMOLITION. THE CONTRACTOR SHALL NOT ALLOW ANY EXCESSIVE DEBRIS TO ACCUMULATE ON THE SITE AT ANY TIME.

No. Issued For:

- 10-23-23: PRELIMINARY FLOOR PLANS AND ELEVATIONS FOR CLIENT REVIEW AND COMMENT
- 3-05-24: ISSUED FOR BUILDING DEPARTMENT REVIEW, COMMENT AND/OR PERMIT

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**EXISTING GARAGE CONVERSION INTO ACCESSORY STUDIO APARTMENT FOR: TODD AND JAMIEE HILL**  
149 MILL STREET, WALKILL, NY TOWN OF NEWBURGH, NY SBL: 2-1-1-91

**GARAGE AND ATTIC DEMOLITION PLANS; FASTENER SCHEDULE; SECTION THRU NEW WINDOW IN EXISTING GARAGE DOOR OPENING; MECHANICAL VENTILATION**

Registered Architect  
TARRYN A. KAMROWSKI  
STATE OF NEW YORK  
02856

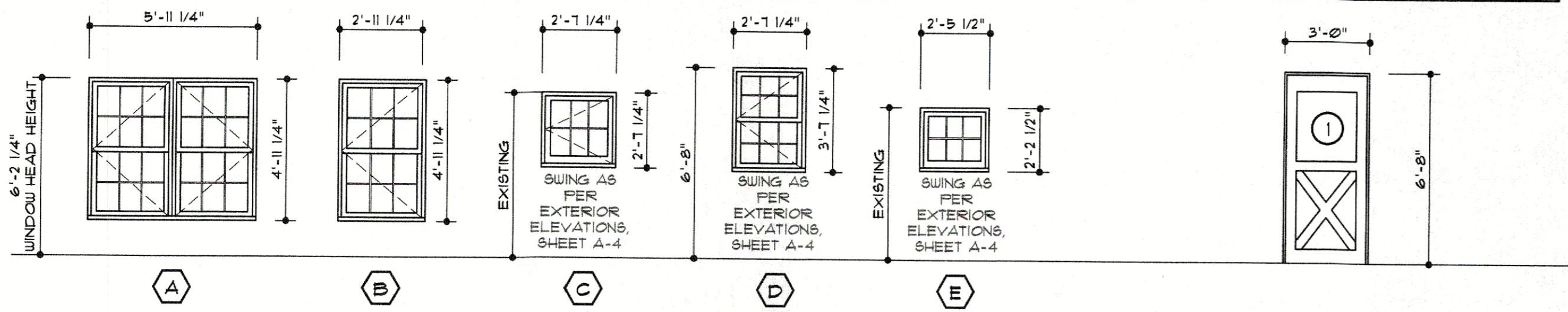
Drawn By: TK JK  
Checked By: TK JK  
Scale: -Noted-

Sheet No. **A-2** of 5

Date: OCTOBER 2023

## WINDOW SCHEDULE

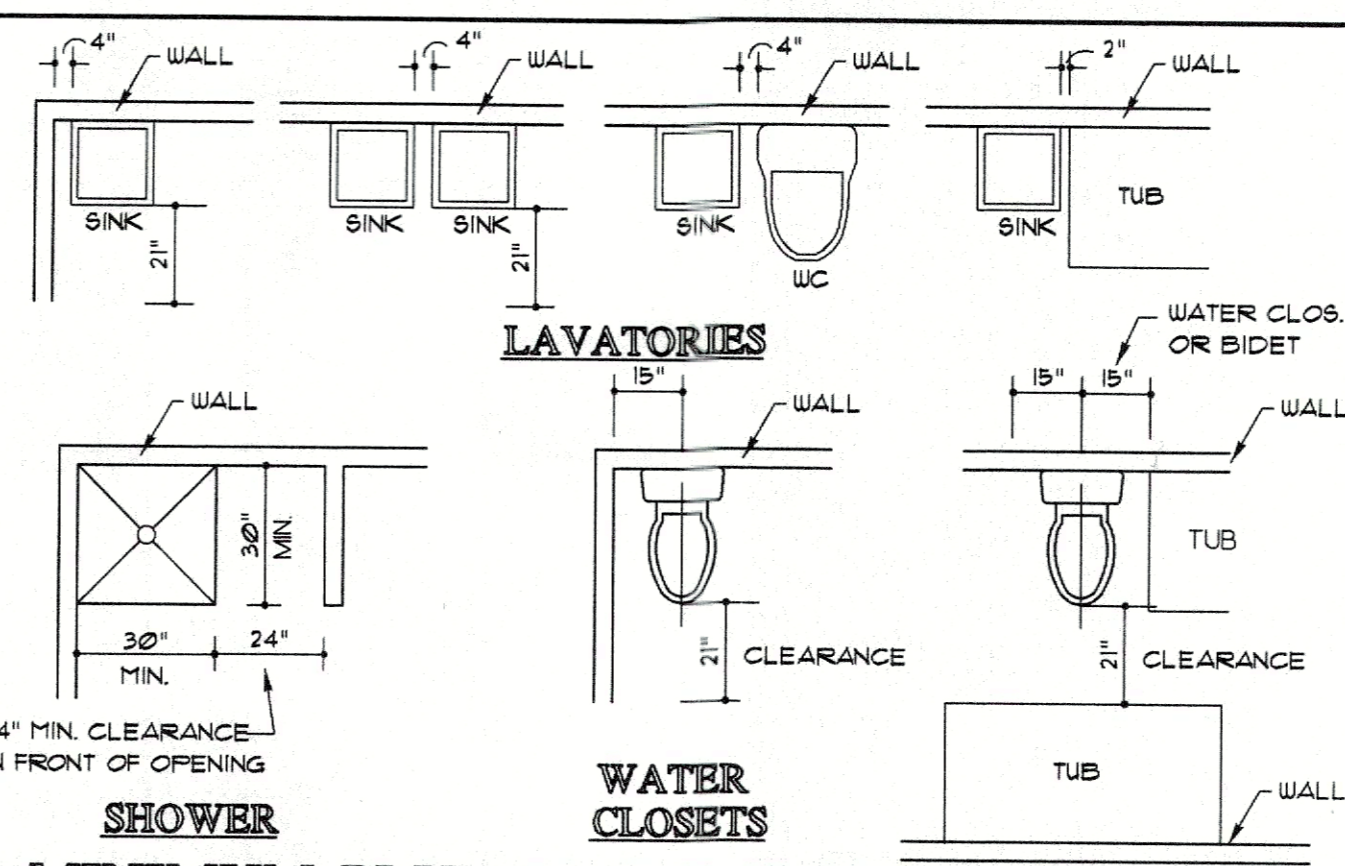
QTY.	KEY	TYPE	MATERIAL	MANUFACTURER	CAT. #	ROUGH OPENING (W X H)	JAMB WIDTH	COMMENTS	REMARKS
1	A	CASEMENT	WOOD	TO BE DETERMINED		6'-0" W X 5'-0" H	V.I.F.	SIMULATED DOUBLE-HUNG	1, 2, 3, 4
1	B	CASEMENT	WOOD	TO BE DETERMINED		3'-0" W X 5'-0" H	V.I.F.	SIMULATED DOUBLE-HUNG	1, 2, 3, 4
3	C	CASEMENT	WOOD	TO BE DETERMINED		2'-8" W X 2'-8" H	V.I.F.		1, 2, 3, 4
2	D	CASEMENT	WOOD	TO BE DETERMINED		2'-8" W X 3'-8" H	V.I.F.		1, 2, 3, 4
2	E	CASEMENT	WOOD	TO BE DETERMINED		2'-6" W X 2'-3" H	V.I.F.		1, 2, 3, 4



QUANTITIES OF WINDOWS AND WINDOW UNIT SIZES/ROUGH OPENINGS SHALL BE VERIFIED IN FIELD BY CONTRACTOR BEFORE ORDERING/INSTALLING.

### REMARKS

- GLAZING SHALL BE A MINIMUM U = 30
  - PROVIDE WOOD EXTENSION JAMBS AS REQUIRED
  - PROVIDE LOW 'E4' WITH HEATLOCK GLAZING
  - PROVIDE STANDARD HARDWARE AND SCREENS
- ALL WINDOWS TO HAVE TRUE DIVIDED LIGHT GRILLES

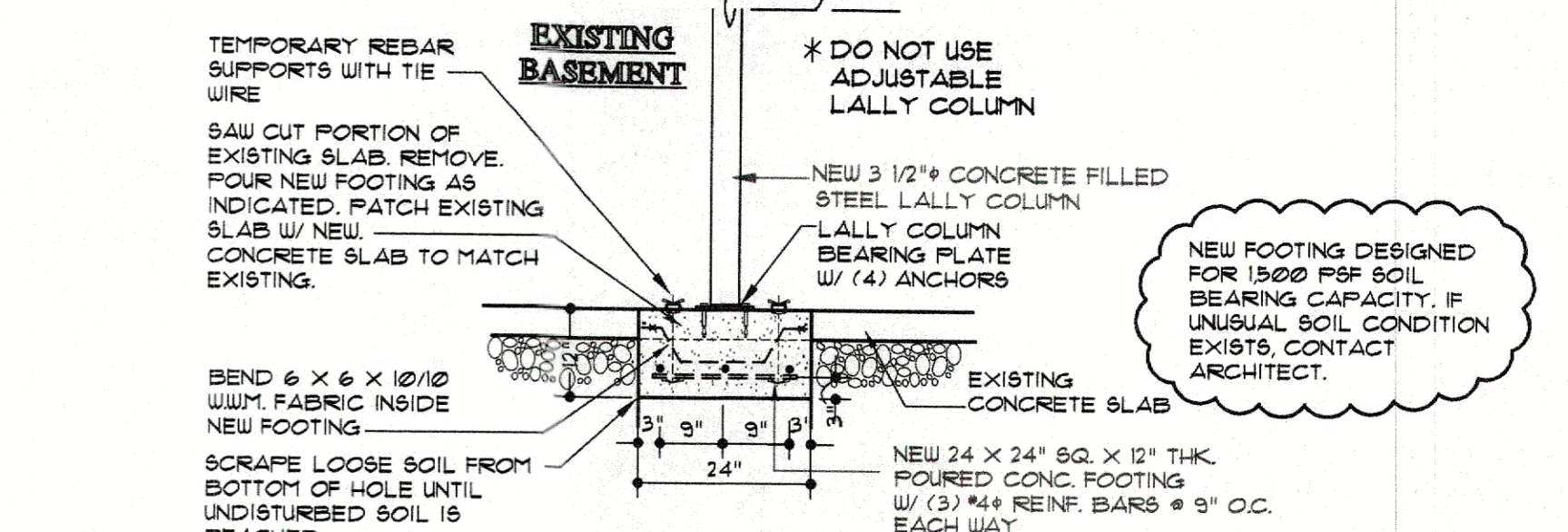


### MINIMUM PLUMBING FIXTURE CLEARANCES

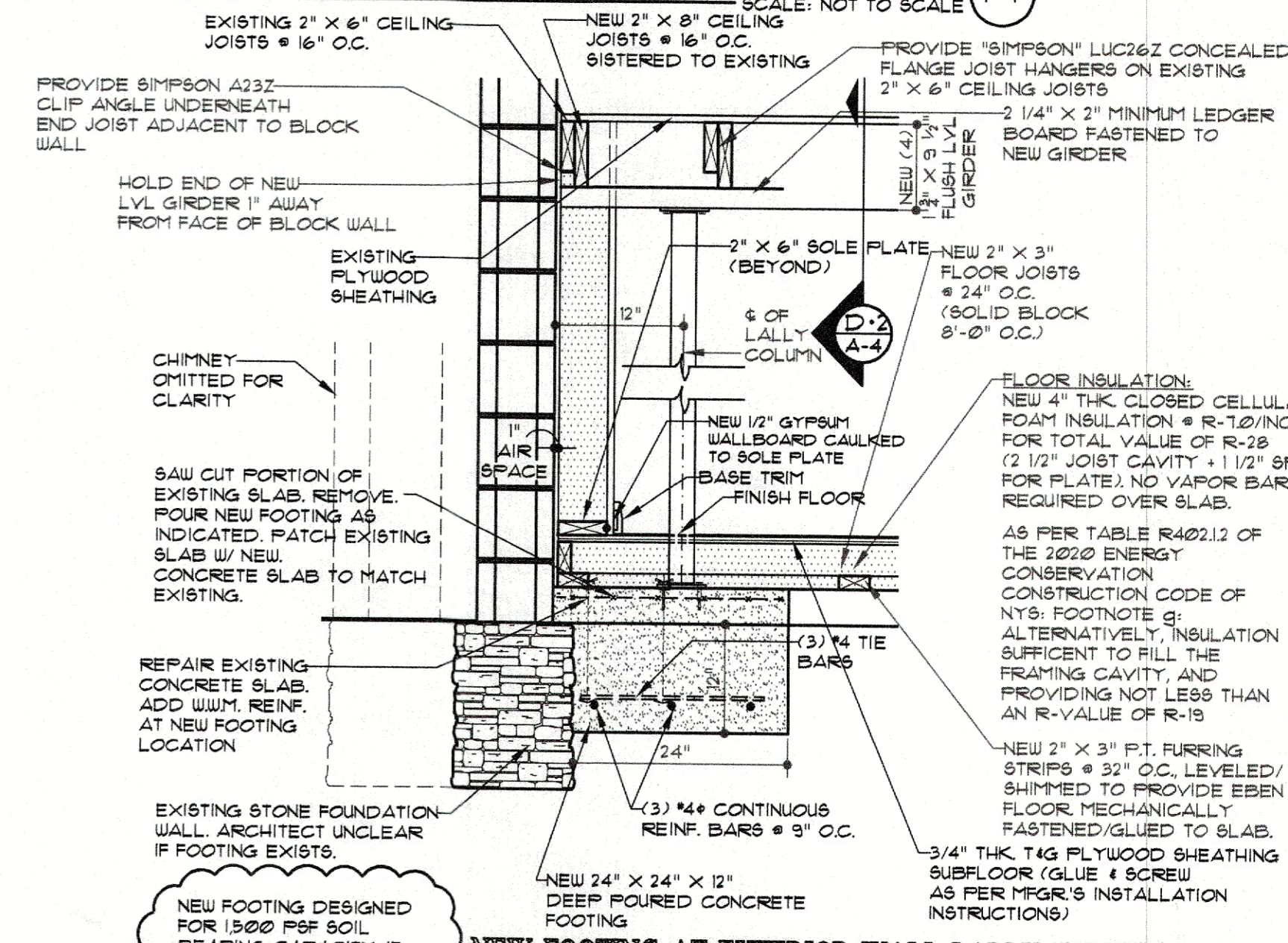
- FOR A CONTINUOUS OR SEMI-CONTINUOUS FLOW INTO A DRAINAGE SYSTEM, SUCH AS FROM A PUMP OR SIMILAR DEVICE, 15 FIXTURE UNITS SHALL BE ALLOWED PER GPF OF FLOW. FOR A FIXTURE NOT LISTED USE THE HIGHEST DRU VALUE FOR A SIMILAR LISTED FIXTURE.
- A FLOOR DRAIN ITSELF ADDS NO HYDRAULIC LOAD, HOWEVER, WHERE USED AS A RECEPTOR, THE FIXTURE UNIT VALUE OF THE FIXTURE DISCHARGING INTO RECEPTOR SHALL BE APPLICABLE.
- ADD 2 DFU FOR EACH ADDITIONAL FULL BATH

### TESTING OF PLUMBING & DRAINAGE SYSTEMS:

PLUMBING AND DRAINAGE SYSTEMS SHALL BE TESTED WITH NO EVIDENCE OF LEAKAGE. COORDINATE TESTING WITH BUILDING DEPARTMENT.



### NEW COLUMN & FOOTING DETAIL



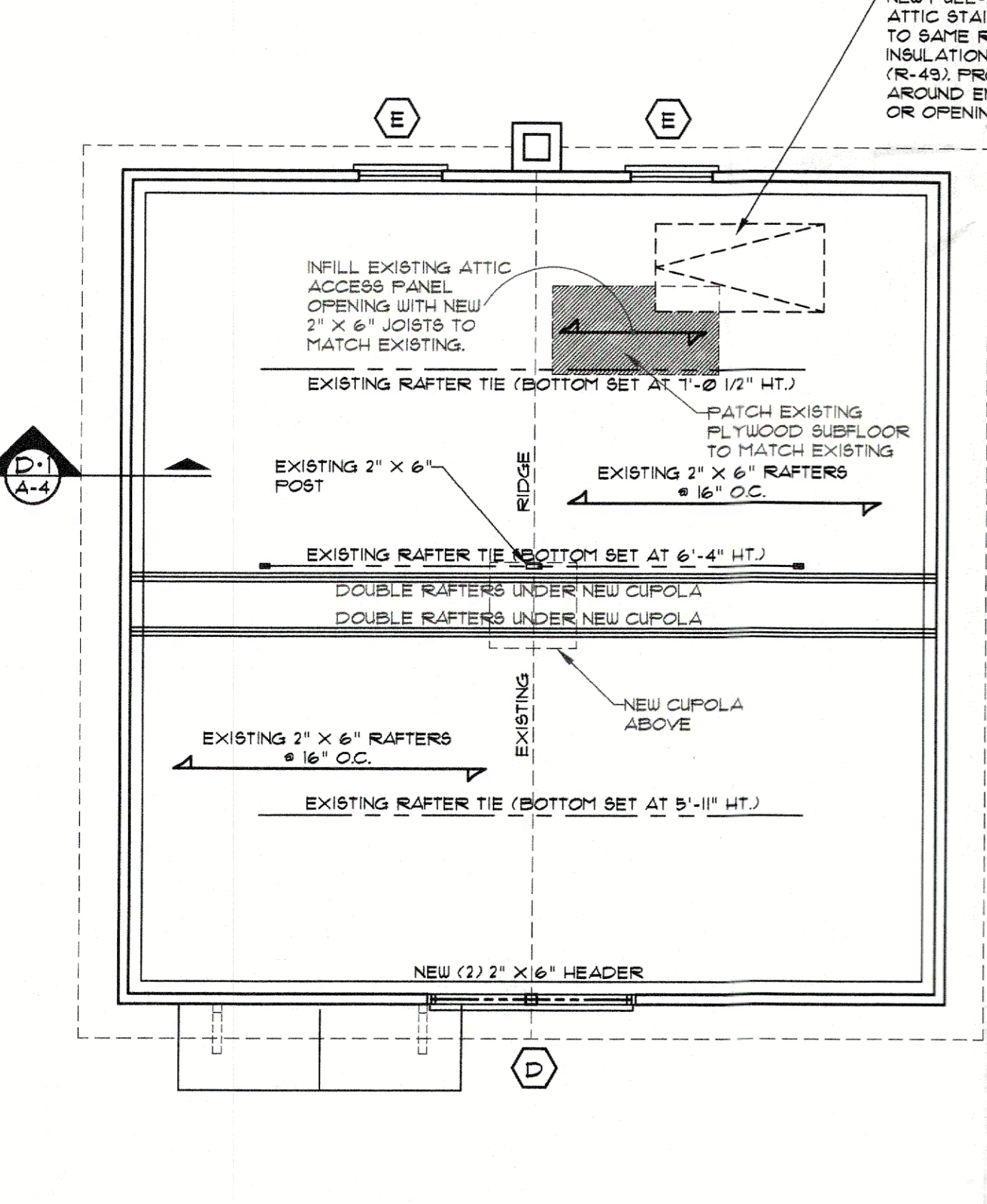
### NEW FOOTING AT EXTERIOR WALL LALLY COLUMN

## EXTERIOR DOOR SCHEDULE

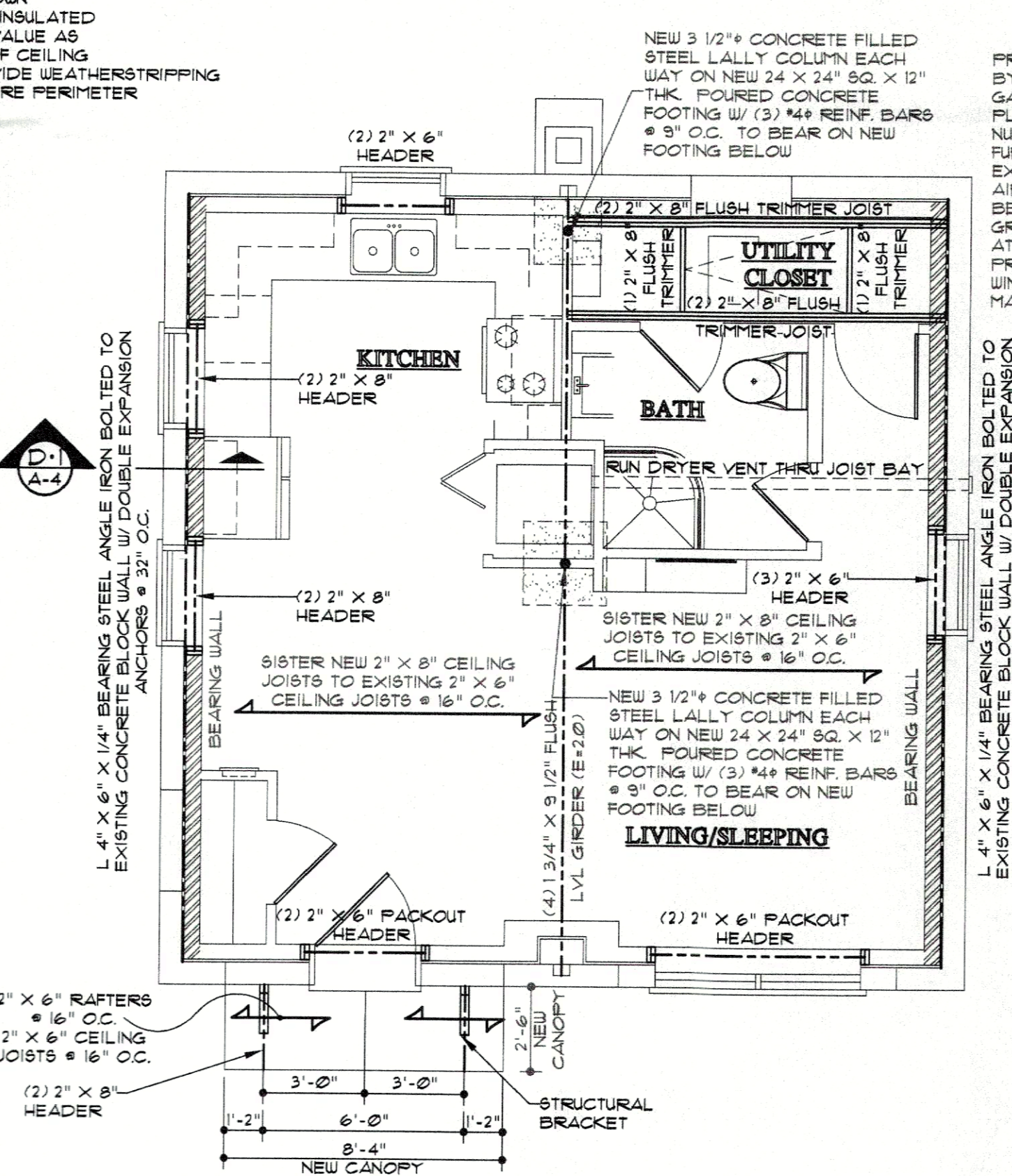
QTY.	KEY	TYPE	MATERIAL	MANUFACTURER	CAT. #	ROUGH OPENING (W X H)	JAMB WIDTH	COMMENTS	REMARKS
1	I	ENTRY DOOR	FIBERGLASS	TO BE DETERMINED	TO BE DET.	TO BE DETERMINED BASED UPON DOOR SELECTED	6'-9/16"	INSULATED	PROVIDE TEMPERED GLASS IN DOOR LITE

## LIGHT, VENTILATION & EGRESS REQUIREMENTS:

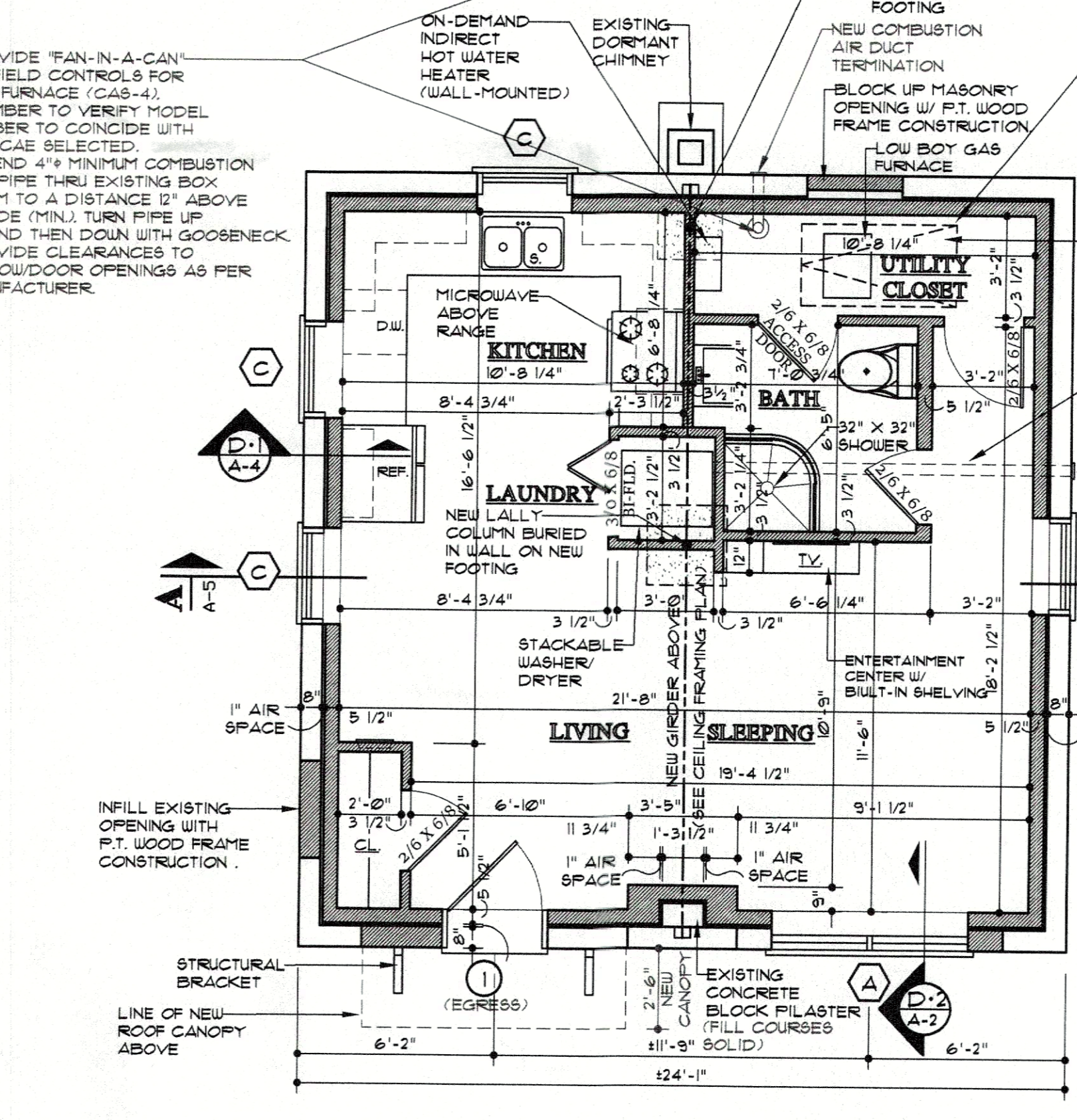
ROOM	SQ. FTG.	LIGHT		VENTILATION		EGRESS		COMPLIES	
		8% REQ'D	PROVIDED	4% REQ'D	PROVIDED	REQ'D	PROVIDED		W. X. H.
<b>FIRST FLOOR</b>									
LIVING/SLEEPING/DINING/KITCHEN	334 SF.	26.12 SF.	49.08 SF.	13.36 SF.	6525 SF.	7/8 X 6' MINIMUM FRONT EXIT DOOR	20.01 SQ. FT.	36" W X 80" H	YES



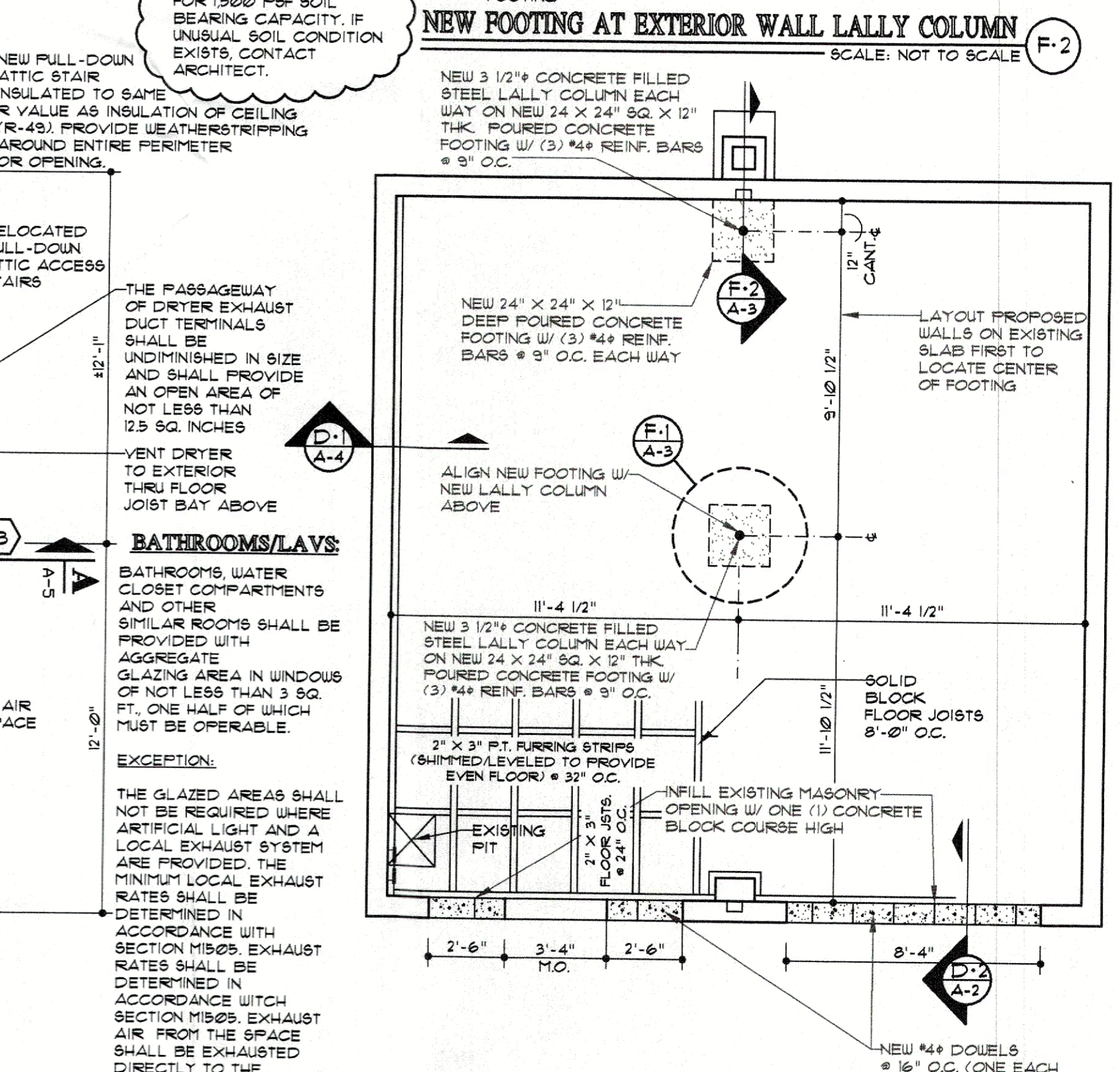
**ATTIC PLAN**  
SCALE: 1/4" = 1'-0"



**CEILING FRAMING PLAN**  
SCALE: 1/4" = 1'-0"



**ACCESSORY STUDIO APARTMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

No.	Issued For:	Comments
1	PRELIMINARY ELEVATIONS FOR CLIENT REVIEW AND COMMENT	
2	ISSUED FOR BUILDING DEPARTMENT REVIEW (PERMIT OR PERMIT)	

**ATTIC LOAD:**

- 15' SF EXISTING ATTIC FLOOR JOISTS
- 4.0' SF EXISTING ATTIC FLOOR JOISTS
- 3.0' SF NEW SISTERED ATTIC FLOOR JOISTS
- 10' SF OPEN CELL SPRAY FOAM INSULATION
- 22' SF GYPSUM WALLBOARD
- 3.0' SF MISCELLANEOUS ITEMS
- 15' SF DEAD LOAD
- 20' SF LIVE LOAD
- TOTAL LOAD: 35' SF.

USE 40' SF DESIGN LOAD

Project Name: EXISTING GARAGE CONVERSION INTO: ACCESSORY STUDIO APARTMENT FOR: TODD AND JAMIEE HILL 149 MILL STREET, WALKILL, NY TOWN OF NEWBURGH, NY SBL: 2-1-91

Project No.: 23-26

Drawing Title: FOUNDATION PLAN; ACCESSORY STUDIO APARTMENT FLOOR PLAN; CEILING FRAMING PLAN; ATTIC PLAN; WINDOW/DOOR SCHEDULE; FOUNDATION AND FOOTING DETAILS

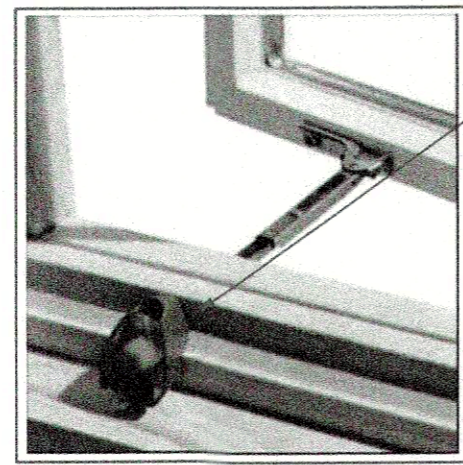
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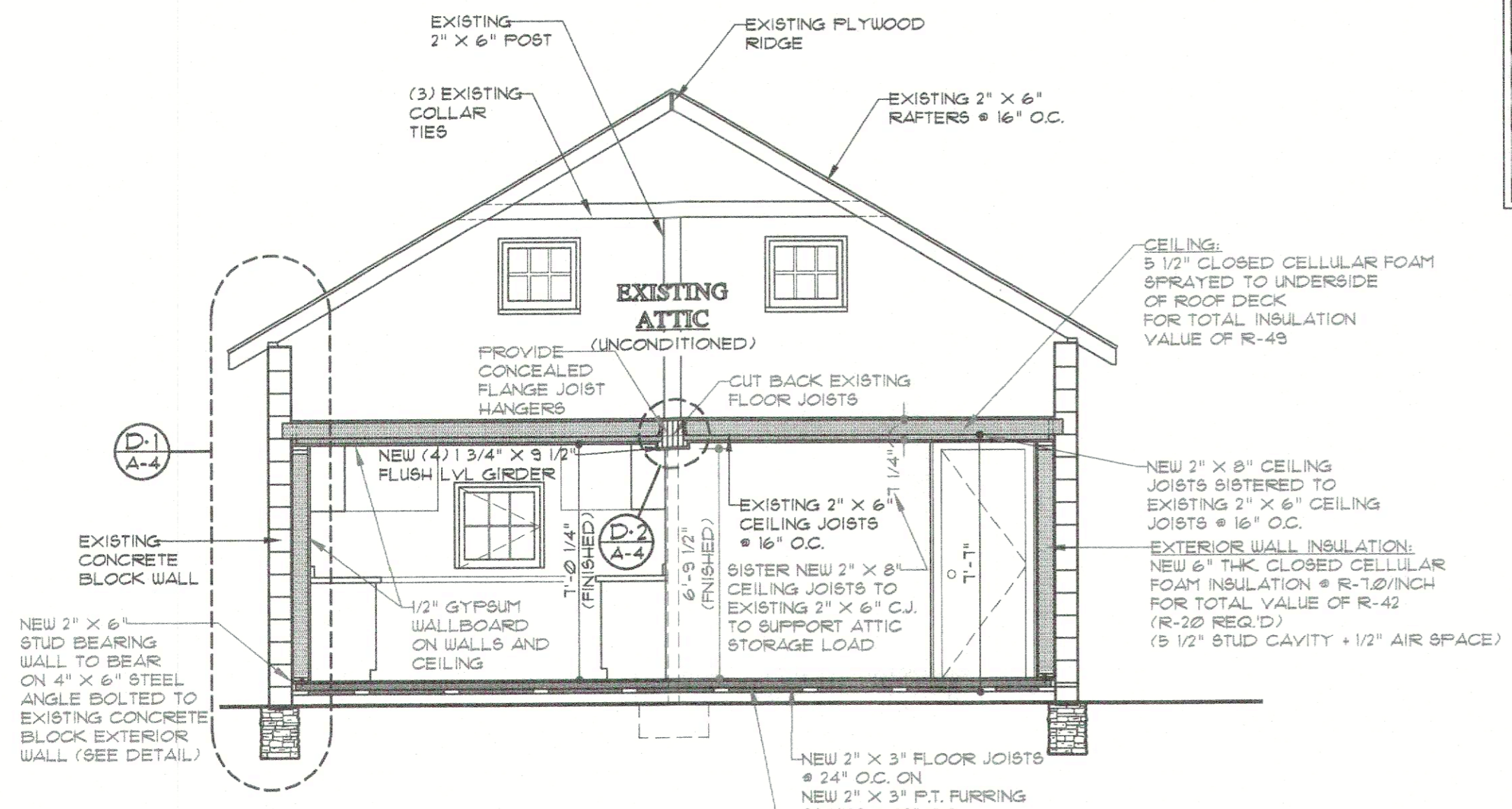
Drawing No. **A-3**

Date: OCTOBER 2023

**WINDOW FALL PROTECTION:**



PROVIDE WINDOW FALL PROTECTION ON ALL SECOND FLOOR WINDOWS WHERE SILL IS LESS THAN 24" AFF AND GREATER THAN 12" ABOVE FINISHED GRADE



**BUILDING SECTION "A-A"**

SCALE: 1/4" = 1'-0"

**FRONT ELEVATION**

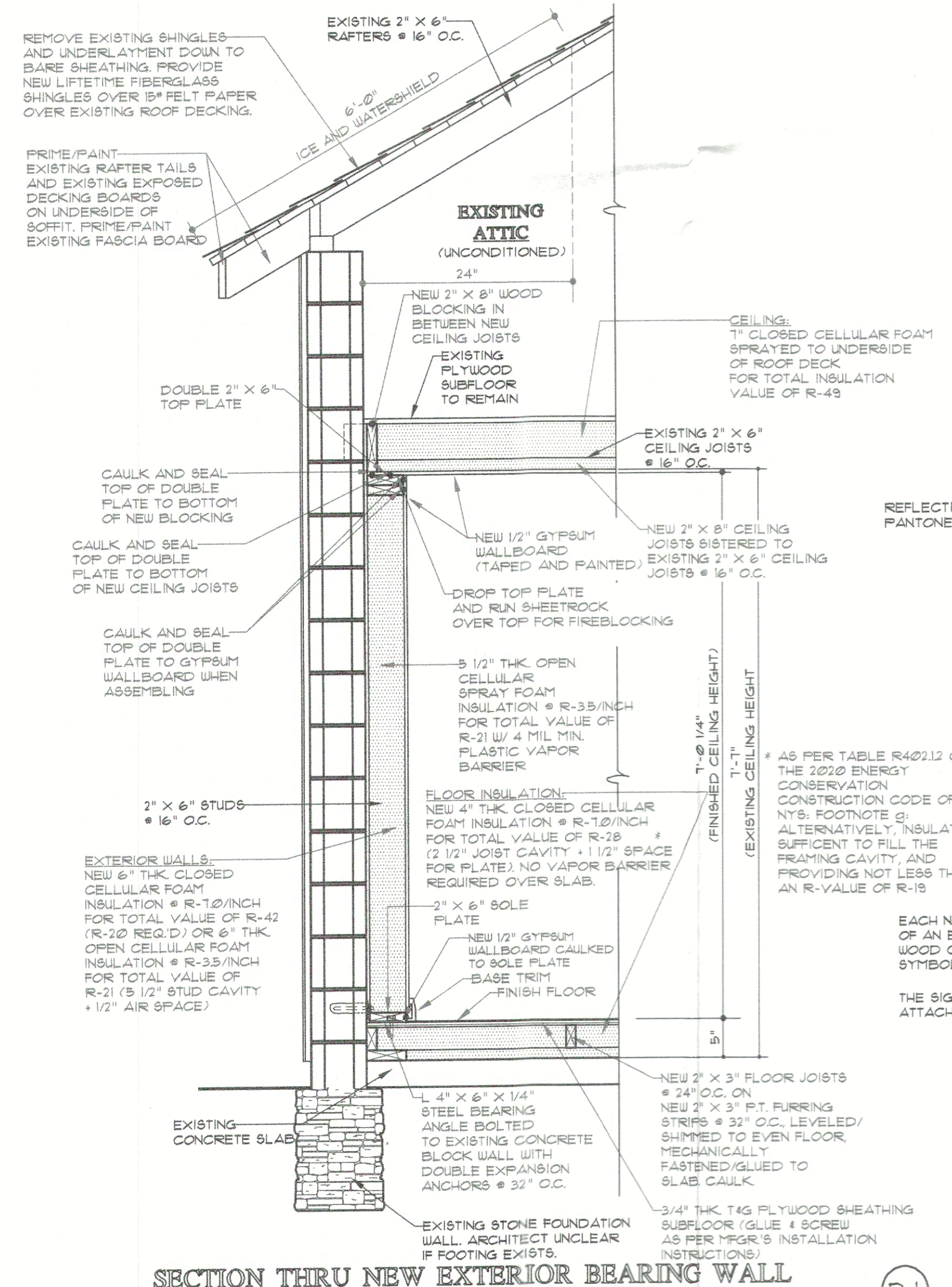
SCALE: 1/4" = 1'-0"

**LEFT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

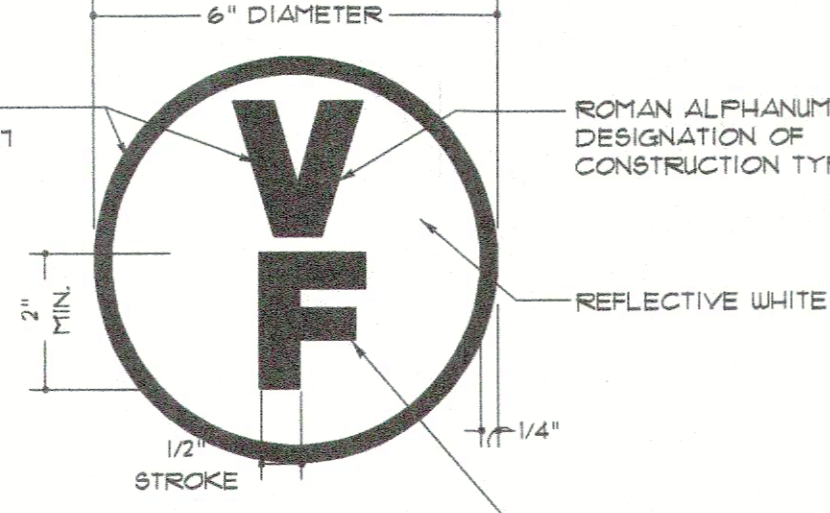
**UNDERLAYMENT APPLICATION:**

FOR ROOF SLOPES FROM TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12) UP TO FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (4:12), UNDERLAYMENT SHALL BE TWO LAYERS APPLIED IN THE FOLLOWING MANNER:  
 APPLY A 19 INCH STRIP OF UNDERLAYMENT FELT PARALLEL TO AND STARTING AT THE EAVES, STARTING AT THE EAVE, APPLY A 36 INCH WIDE SHEET OF UNDERLAYMENT, OVERLAPPING SUCCESSIVE SHEETS 19 INCHES, DISTORTIONS IN THE UNDERLAYMENT SHALL NOT INTERFERE WITH THE ABILITY OF THE SHINGLES TO SEAL.  
 FOR ROOF SLOPES OF FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (4:12) OR GREATER, UNDERLAYMENT SHALL BE ONE LAYER APPLIED IN THE FOLLOWING MANNER:  
 UNDERLAYMENT SHALL BE APPLIED SHINGLE FASHION, PARALLEL TO AND STARTING FROM THE EAVE, AND LAPPED 2 INCHES, DISTORTIONS IN UNDERLAYMENT SHALL NOT INTERFERE WITH THE ABILITY OF THE SHINGLES TO END LAP. SHINGLES SHALL BE 4 INCHES AND SHALL BE OFFSET BY 6 FEET.



**SECTION THRU NEW EXTERIOR BEARING WALL**

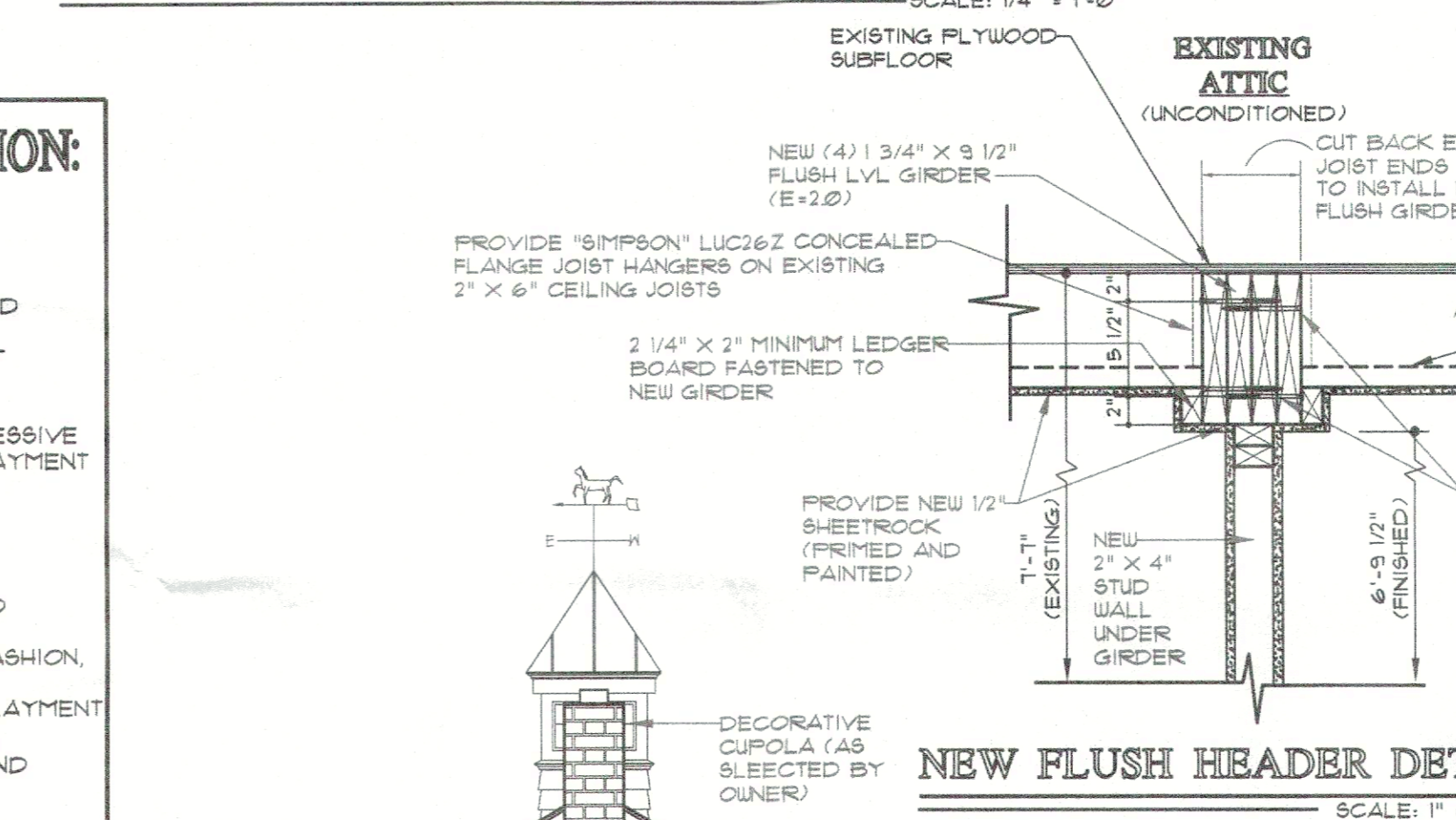
SCALE: NOT TO SCALE



DESIGNATION FOR STRUCTURAL COMPONENTS THAT ARE OF TRUSS-TYPE JOIST CONSTRUCTION

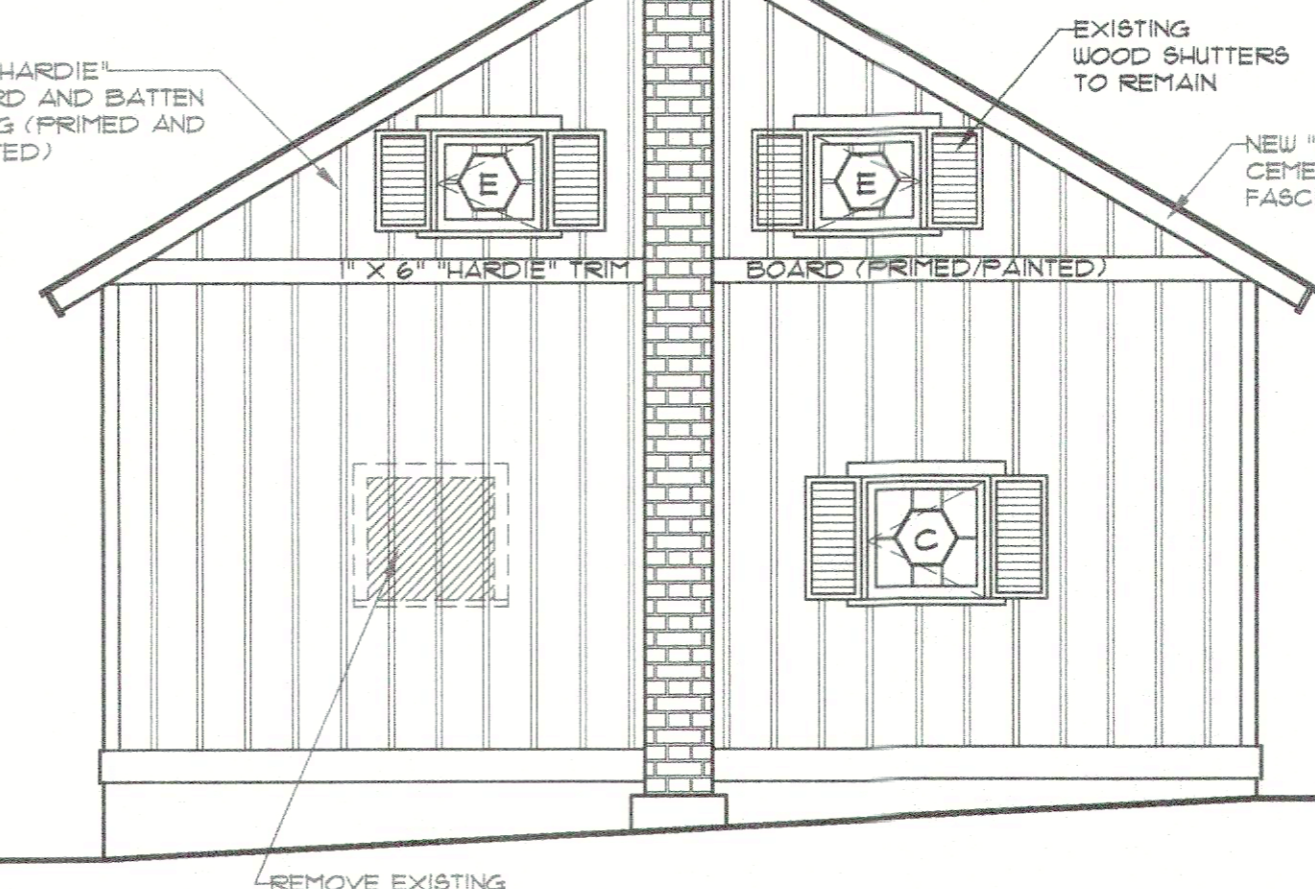
"F"	FLOOR FRAMING INCLUDING GIRDERS & BEAMS
"R"	ROOF FRAMING
"FR"	FLOOR & ROOF FRAMING

EACH NEW RESIDENTIAL STRUCTURE AND EACH ADDITION TO OR REHABILITATION OF AN EXISTING STRUCTURE THAT UTILIZES TRUSS TYPE CONSTRUCTION, FIRE-ENGINEERED WOOD CONSTRUCTION AND/OR TIMBER CONSTRUCTION SHALL BE IDENTIFIED BY A SIGN SYMBOL IN ACCORDANCE WITH THE PROVISIONS OF TITLE 19 (NYCRR), PART 264.  
 THE SIGN/SYMBOL REQUIRED BY THIS PART SHALL BE AFFIXED TO THE ELECTRIC BOX ATTACHED TO THE EXTERIOR OF THE RESIDENTIAL STRUCTURE.



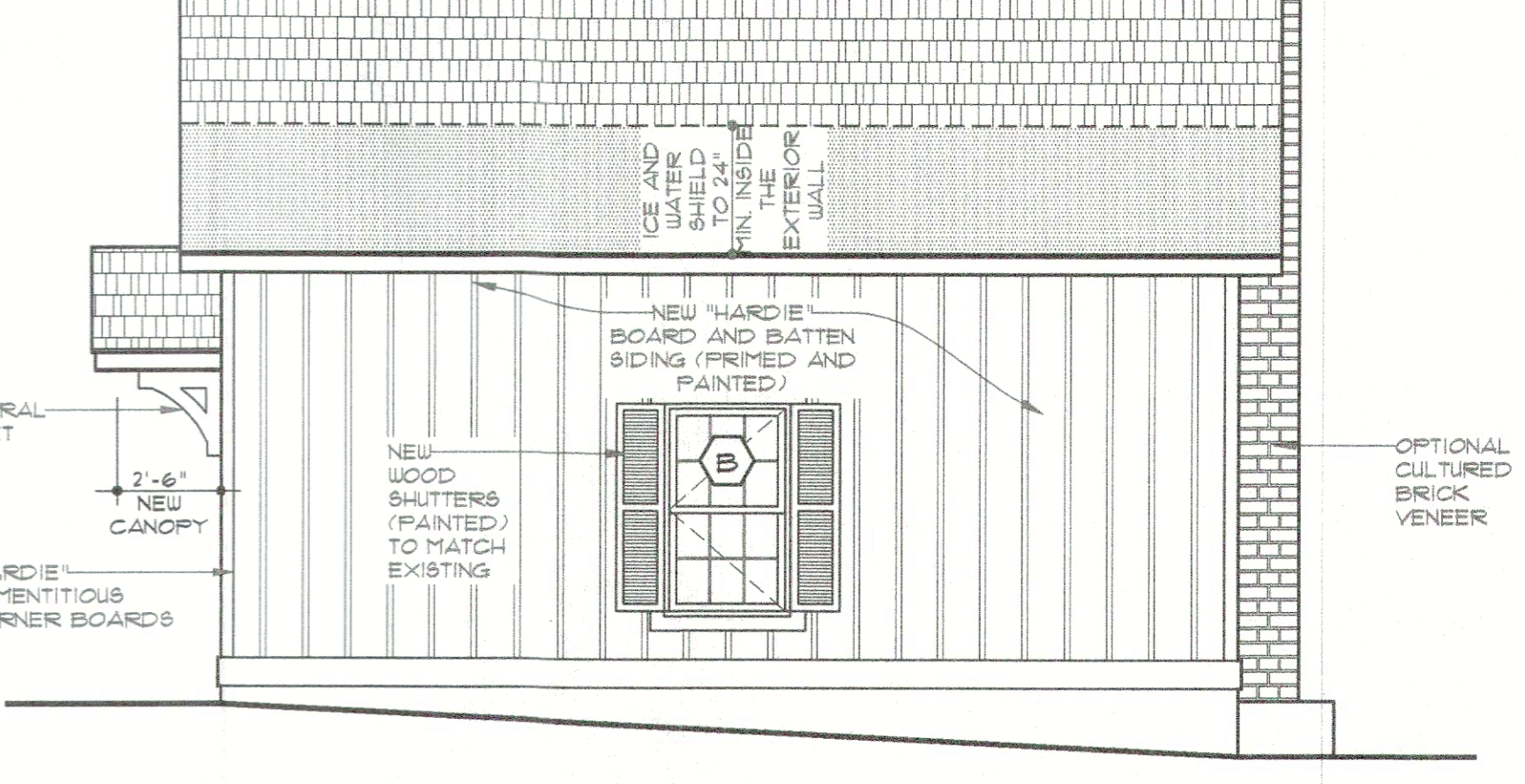
**NEW FLUSH HEADER DETAIL**

SCALE: 1" = 1'-0"



**REAR ELEVATION**

SCALE: 1/4" = 1'-0"

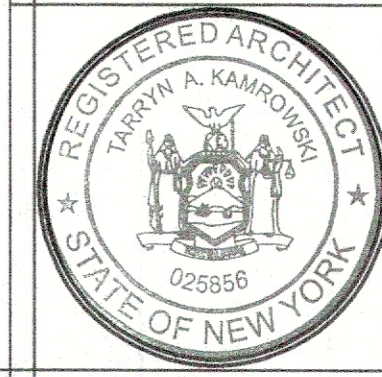


**RIGHT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

<p>Issued For:</p> <p>1-23-23: PRELIMINARY ELEVATIONS FOR CLIENT REVIEW AND COMMENT</p> <p>3-05-24: ISSUED FOR BUILDING DEPARTMENT (PERMIT AND/OR PERMIT)</p>	<p>Project Name:</p> <p>EXISTING GARAGE CONVERSION INTO: ACCESSORY STUDIO APARTMENT FOR: TODD AND JAMIEE HILL 149 MILL STREET, WALKKILL, NY TOWN OF NEWBURGH, NY SBL: 2-1-91</p>	<p>Project No.:</p> <p>23-126</p>
<p>Scale:</p> <p>1/4" = 1'-0"</p>	<p>Drawing Title:</p> <p>EXTERIOR ELEVATIONS; BUILDING SECTION "A-A"; WALL SECTION THRU EXTERIOR BEARING WALL</p>	<p>License No.:</p> <p>025556</p>

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 License No. 025556 Expiration date of Current Registration: 11/30/2025



Drawing No.	A-4
Of	B
Date	OCTOBER 2023

**PLUMBING NOTES:**

- PRE-INSULATED FLEXIBLE SUPPLY AIR DUCT MAY BE USED FOR SUPPLY AIR BRANCH DUCTS ONLY.
- ALL HOT WATER SUPPLY AND RETURN PIPING SHALL BE INSULATED WITH PRE-FORMED FIBERGLASS PIPE INSULATION WITH ALL SERVICE JACKET PIPE INSULATION SHALL BE 1/2" THICK UP TO INCLUDING 2" DIAMETER PIPING. FITTINGS SHALL BE COVERED WITH PLASTIC INSULATION COVERS (FIRE RESISTANT) TO BE TYPICAL OF QUENS CORNING, CERTAIN TEE OR ACCEPTABLE EQUAL.
- ALL PIPING TO BE RUN PARALLEL OR PERPENDICULAR TO BUILDING STRUCTURES. ALL PIPING TO BE SECURELY SUPPORTED FROM BUILDING STRUCTURES USING HANGERS MANUFACTURED FOR THIS PURPOSE.
- PIPING:
  - WATER: SUPPLY TYPE 1/2" COPPER OR PEX TUBING
  - RETURN TYPE 1/2" COPPER OR PEX TUBING
  - ALL WITH 50/50 SOLDER JOINTS AND WROUGHT COPPER FITTINGS.
- CONTRACTOR SHALL TEST ALL PIPING TO 15 TIMES MAXIMUM WORKING PRESSURE WITHOUT LEAKAGE IN THE PRESENCE OF THE ENGINEER PRIOR TO CONCEALMENT.
- NO STRUCTURAL MEMBER SHALL BE DRILLED OR CUT FOR THE INSTALLATION OF PIPING WITHOUT THE EXPRESS WRITTEN ACCEPTANCE OF THE ARCHITECT.
- THE USE OF SADDLE TAP FITTINGS AND COMBINATION SADDLE TAP AND VALVE FITTINGS SHALL BE PROHIBITED.
- PIPING SHALL BE RUN WITH MAXIMUM CLEARANCE ABOVE FINISHED FLOORS, SO AS NOT TO CAUSE A HAZARD TO ANY PERSONNEL AND SO AS NOT TO INTERFERE WITH THE WORK OF OTHER TRADES OR OPERATION OF OTHER FACILITIES OR EQUIPMENT.
- FURNISH AND INSTALL 3/4" VALVED DRAINS AT ALL LOW POINTS IN WATER PIPING.
- FURNISH AND INSTALL RESILIENT GROMMETS AROUND HEAT PIPING AT ALL PIPE PENETRATIONS OF FINISHED FLOORS AND/OR WALLS.
- ALL BRANCH RUNOUTS SHALL BE 3/4" UNLESS OTHERWISE NOTED.
- FURNISH AND INSTALL MANUAL AIR VENTS ON VENT ELBOUS AT THE INLET OF EACH SECTION OF BASEBOARD RADIATION.
- FURNISH AND INSTALL AUTOMATIC AIR VENTS AT ALL HIGH POINTS IN PIPING.
- ALL AIR VENTS SHALL BE INSTALLED IN ACCESSIBLE LOCATIONS. VERIFY ACTUAL LOCATIONS IN FIELD.
- FILL AND SEAL AROUND ALL PENETRATIONS OF FIRE RATED FLOORS, WALLS AND CEILING WITH UL APPROVED SEALANT.
- A WATER HAMMER ARRESTOR SHALL BE INSTALLED WHERE QUICK CLOSING VALVES ARE UTILIZED.
- WHERE A PVC WATER SERVICE PIPE CONNECTED TO CPVC PIPE AT THE BEGINNING OF A WATER DISTRIBUTION SYSTEM, THE TRANSITION SHALL BE BY A MECHANICAL FITTING, AN APPROVED ADAPTER FITTING, A TRANSITION FITTING OR BY A SINGLE SOLVENT-CEMENTED TRANSITION JOINT.

**PLUMBING AND HEATING NOTES:**

- ALL PLUMBING & HEATING WORK SHALL MEET OR EXCEED THE REQUIREMENTS OF CHAPTERS 25 THRU 32 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.
- ALL APPLIANCES SHALL HAVE PERMANENT FACTORY APPLIED NAMEPLATES AFFIXED TO EACH APPLIANCE ON WHICH SHALL APPEAR MFGRS' NAME OR TRADEMARK, THE MODEL NUMBER, SERIAL NUMBER, & THE SEAL OR MARK OF THE TESTING AGENCY.
- ALL PLUMBING WORK SHALL BE INSPECTED BY ANY LOCAL OR STATE BUILDING OFFICIAL HAVING JURISDICTION.
- AIR ADMITTANCE VALVES SHALL NOT BE USED UNLESS OTHERWISE NOTED ON PLANS. AIR ADMITTANCE VALVES SHALL NOT BE USED TO VENT BUFFERS OR TANKS. AIR ADMITTANCE VALVES SHALL NOT BE USED ON OUTDOOR VENT TERMINALS FOR THE SOLE PURPOSE OF REDUCING CLEARANCES TO GRAVITY OR MECHANICAL AIR INTAKES.
- PROVIDE ALL SCALD PROTECTION VALVES, RELIEF VALVES, PRESSURE RELIEF VALVES, AND TEMPERATURE RELIEF VALVES AS PER CHAPTER 28 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.
- DO NOT RUN PIPES IN UNHEATED SPACES. KEEP ALL PIPES ON HEATED SIDE OF INSULATION. NO PORTION OF THE ABOVE-GRADE DUV SYSTEM OTHER THAN VENT TERMINALS SHALL BE LOCATED OUTSIDE THE BUILDING, IN ATTICS OR CRAWL SPACES CONCEALED IN OUTSIDE WALLS, OR IN ANY OTHER PLACE SUBJECTED TO FREEZING TEMPERATURES UNLESS ADEQUATE PROVISION IS MADE TO PROTECT THEM FROM FREEZING BY INSULATION OR HEATING OR BOTH.

**WATER HEATER NOTES:**

SERVICE WATER HEATERS, STORAGE TANKS, AND BOILERS SHALL MEET THE PERFORMANCE CRITERIA OF CHAPTERS 20 AND 24 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.

ALL FUEL GAS EQUIPMENT USED IN THIS DWELLING MUST MEET THE REQUIREMENTS OF CHAPTER 24 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE FOR USE, LOCATION AND INSTALLATION EQUIPMENT.

SEE DRAWING A-1 FOR OTHER PLUMBING AND HEATING REQUIREMENTS.

WATER HEATERS WITH VERTICAL PIPE RISERS SHALL HAVE A HEAT TRAP ON BOTH THE INLET AND OUTLET OF THE HEATER. UNLESS AN INTEGRAL HEAT TRAP IS PART OF THE CIRCULATING SYSTEM.

**DUCTS AND INSULATION:**

SUPPLY AND RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MINIMUM OF R-8 WHERE 3 INCHES IN DIAMETER AND GREATER AND R-6 WHERE LESS THAN 3 INCHES IN DIAMETER. SUPPLY AND RETURN DUCTS IN OTHER PORTIONS OF THE BUILDING SHALL BE INSULATED TO A MINIMUM OF R-6 WHERE 3 INCHES IN DIAMETER OR GREATER AND R-4.2 WHERE LESS THAN 3 INCHES IN DIAMETER.

EXCESSIVE DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

SEALING: DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.

**BOILER NOTES:**

THE INSTALLATION OF BOILERS SHALL CONFORM TO THE MANUFACTURER'S INSTRUCTIONS. THE MANUFACTURER'S RATING DATA, NAMEPLATE AND OPERATING INSTRUCTIONS OF A PERMANENT TYPE SHALL BE ATTACHED TO THE BOILER. BOILERS SHALL HAVE ALL CONTROLS SET, ADJUSTED AND TESTED BY THE INSTALLER. A COMPLETE CONTROL DIAGRAM TOGETHER WITH COMPLETE BOILER OPERATING INSTRUCTIONS SHALL BE FURNISHED BY THE INSTALLER. SOLID AND LIQUID FUEL BURNING BOILERS SHALL BE PROVIDED WITH COMBUSTION AIR BOILERS AND THEIR CONTROL SYSTEMS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 726. BOILERS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF ASME CS-1 AND AS APPLICABLE, THE ASME BOILER AND PRESSURE VESSEL CODE.

**HOT WATER PIPE INSULATION:**

- INSULATION FOR HOT WATER PIPE WITH A MINIMUM THERMAL RESISTANCE (R-VALUE) OF R-3 SHALL BE APPLIED TO THE FOLLOWING:
- PIPING 3/4" AND LARGER IN NOMINAL DIAMETER
  - PIPING SERVING MORE THAN ONE DWELLING UNIT
  - PIPING LOCATED OUTSIDE THE CONDITIONED SPACE
  - PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD
  - PIPING LOCATED UNDER A FLOOR SLAB
  - BURIED IN PIPING
1. SUPPLY AND RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS.

**WATER-SUPPLY FIXTURE-UNIT FOR VARIOUS PLUMBING FIXTURES AND FIXTURE GROUPS**

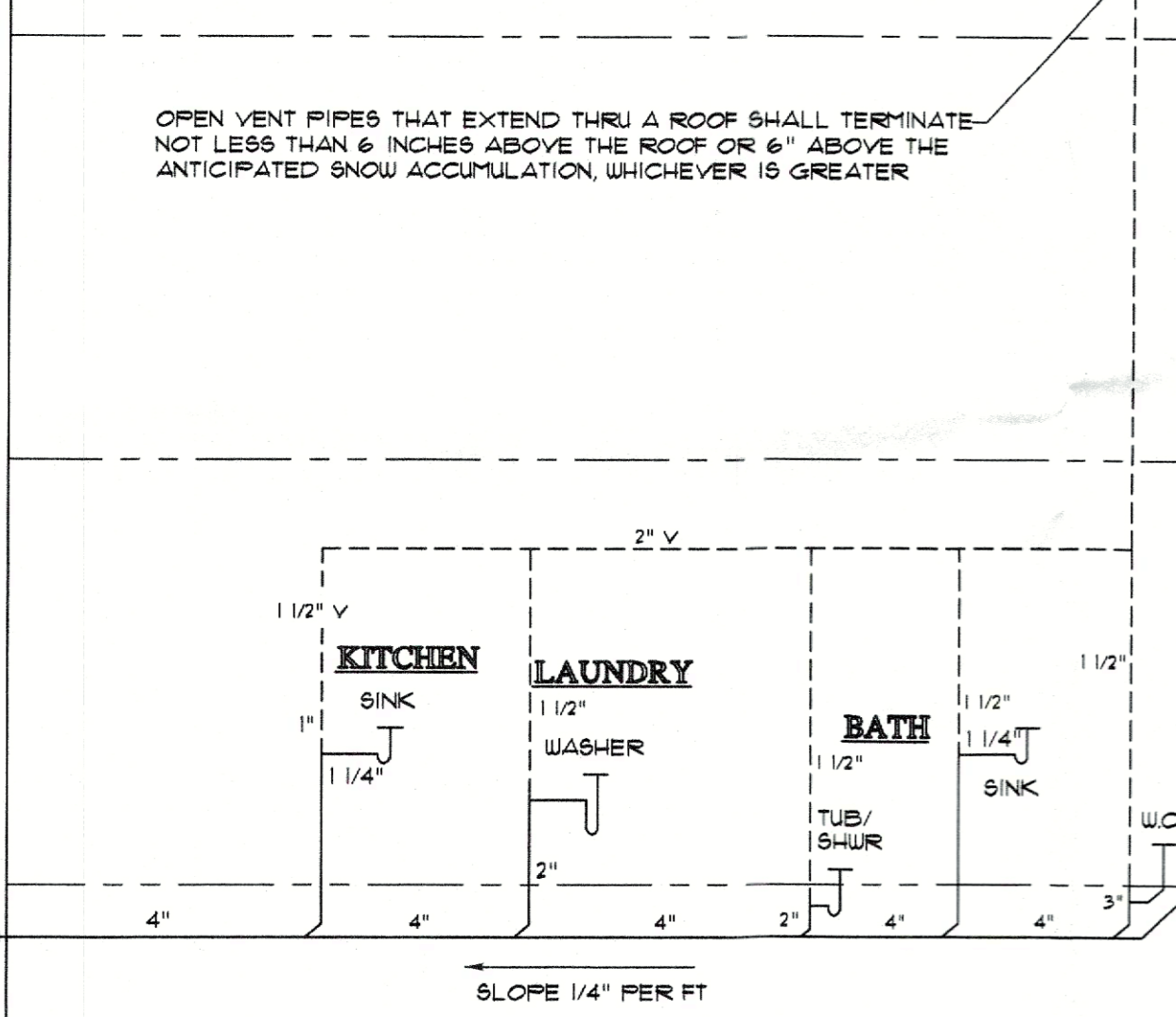
TYPES OF FIXTURES OR GROUP OF FIXTURES	WATER-SUPPLY FIXTURE-UNIT VALUE (WU/FU)		
	HOT	COLD	COMBINED
BATH/TUB (W/W/O OVERHEAD SHOWER HEAD)	1.0	1.0	1.4
CLOTHES WASHER	1.0	1.0	1.4
DISHWASHER	1.4	-	1.4
HOSE BIBB (BILLCOCK)	-	2.5	2.5
KITCHEN SINK	1.0	1.0	1.4
LAVATORY	0.5	0.5	0.7
LAUNDRY TUB	1.0	1.0	1.4
SHOWER STALL	1.0	1.0	1.4
WATER CLOSET (TANK TYPE)	-	2.2	2.2
FULL-BATH GROUP W/ BATH/TUB (W/W/O SHOWER HEAD) OR SHOWER STALL	1.5	2.1	3.6
HALF-BATH GROUP (WATER CLOSET AND LAVATORY)	0.5	2.5	2.6
KITCHEN GROUP (DISHWASHER AND SINK W/W/O GARBAGE GRINDER)	1.9	1.0	2.9
LAUNDRY GROUP (CLOTHES WASHER STANDPIPE AND LAUNDRY TUB)	1.8	1.8	2.9

**ELECTRICAL NOTES:**

- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING, PATCHING AND PAINTING ASSOCIATED WITH ALL ELECTRICAL WORK.
- ALL ELECTRICAL CIRCUITRY SHALL BE CONCEALED IN WALLS, CEILING AND FLOORS. IF SAME IS IMPOSSIBLE ADVISE THE ARCHITECT AND OBTAIN APPROVAL AUTHORIZATION FOR SURFACE MOUNTING. SURFACE EXPOSED CIRCUITRY SHALL BE RUN IN SURFACE METAL RACEWAY MANUFACTURED BY "WIRENOLD" MODEL 5000 COLOR AS DIRECTED BY ARCHITECT.
- ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2020 NATIONAL ELECTRIC CODE LATEST EDITION, AND THE 2020 RESIDENTIAL CODE OF NEW YORK STATE FOR ONE AND TWO FAMILY DWELLINGS.
- CONTRACTOR SHALL OBTAIN, PAY FOR AND COMPLY WITH ALL REQUIRED PERMITS. CONTRACTOR SHALL ARRANGE FOR ALL NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER THE ELECTRICAL INSTALLATION COMPLETE AND OPERATIVE AND IN COMPLIANCE WITH APPLICABLE CODES.
- ALL WIRING SHALL BE COPPER CONDUCTOR MINIMUM SIZE #12 AWG, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING EQUIPMENT AND NOTE CONDITIONS AND AREAS WHERE WORK WILL OCCUR IN FIELD.
- CONTRACTOR SHALL COORDINATE LOCATION OF LIGHT FIXTURES AND ELECTRICAL EQUIPMENT WITH OTHER TRADES TO AVOID CONFLICTS.
- CONTRACTOR SHALL SEAL AROUND ALL CONDUIT PENETRATIONS THROUGH WALLS, FLOORS AND CEILING OF BOILER ROOM (IF APPLICABLE) & GARAGE W/ AN INTUITIVE STOP MATERIAL TO MAINTAIN FIRE AND SMOKE RATINGS.
- CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES TO AVOID CONFLICTS OF EQUIPMENT INSTALLATION. CONTRACTOR SHALL VERIFY EXACT LOCATIONS OF ALL EQUIPMENT CONNECTIONS, WIRING DEVICES AND LIGHTING WITH ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIAL INSTALLED UNDER THIS CONTRACT FREE FROM DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF SUBSTANTIAL COMPLETION AND ACCEPTANCE BY THE OWNER AND AGREES TO REPLACE DEFECTIVE WORK AT NO ADDITIONAL COST TO OWNER DURING THE GUARANTEE PERIOD.
- FINAL LOCATIONS AND ELEVATIONS OF ALL LIGHT FIXTURES, RECEPTACLES, SWITCHES, PHONE JACKS AND CABLE OUTLETS SHALL BE AS PER CODE & AS PER CODE 1 & 2 AS REVIEWED WITH OWNER.
- CONTRACTOR TO BE RESPONSIBLE FOR ALL POWER SWIRLING, CONDUIT AND FITTINGS FOR HVAC EQUIPMENT.
- INSTALL ALL SMOKE/ CARBON MONOXIDE DETECTORS AS PER CODE. ALL DETECTORS TO BE INTERCONNECTED AND HARD WIRED.

**ELECTRICAL EQUIPMENT**

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
\$	SINGLE POLE SWITCH "D" = DIMMER	W/P	EXTERIOR GRADE WALL-MOUNTED FIXTURE W/WATERPROOF HOUSING
\$3	THREE WAY SWITCH "D" = DIMMER	◆	RECESSED ULTRA-THIN LED PANCAKE DOWNLIGHT
\$4	FOUR WAY SWITCH "D" = DIMMER	◇	CEILING-MOUNTED LED LIGHT FIXTURE AS SUPPLIED BY OWNER
\$FA	SINGLE POLE DUAL SWITCH FOR LIGHT/FAN FIXTURE	▲	TORCHIERE SCIENCE
⊕	DUPLEX OUTLET	⊕	SMOKE DETECTOR (INSTALL & MOUNT AS PER MFGR.'S SPEC.)
⊕GFI	DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTER	⊕C	SMOKE/CARBON MONOXIDE DETECTOR (INSTALL & MOUNT AS PER MFGR.'S SPEC.)
⊕	DIRECT HARD-WIRE CONNECTION	⊕	EXHAUST FAN/LIGHT COMBINATION FIXTURE
⊕GFI W/P	DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTER & WEATHERPROOF COVER	⊕PEN	HANGING PENDANT LIGHT FIXTURE AS SELECTED BY OWNER
⊕NET	ETHERNET JACK OUTLET (HARD-WIRED)	⊕TV	TELEVISION JACK - CABLE TYPE CONNECTOR
⊕	PROGRAMMABLE THERMOSTAT TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEGREES OR UP TO 85 DEGREES F.	⊕TEL	TELEPHONE MODULAR JACK OUTLET



**NOTE:** SMOKE DETECTORS, CARBON MONOXIDE AND HEAT DETECTORS SHALL BE INSTALLED AS PER MFGR.'S SPECIFICATIONS AS WELL AS SECTION R314 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.

ALL SMOKE DETECTORS SHALL BE HARD-WIRED AND INTERCONNECTED W/ BATTERY BACK-UP.

**ELECTRIC**

- ALL ELECTRIC WORK SHALL MEET OR EXCEED THE REQUIREMENTS OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, CHAPTERS 34 THRU 43.
- ALL ELECTRIC WORK SHALL BE INSPECTED AND APPROVED BY A LICENSED UNDERWRITER OFFICIAL.

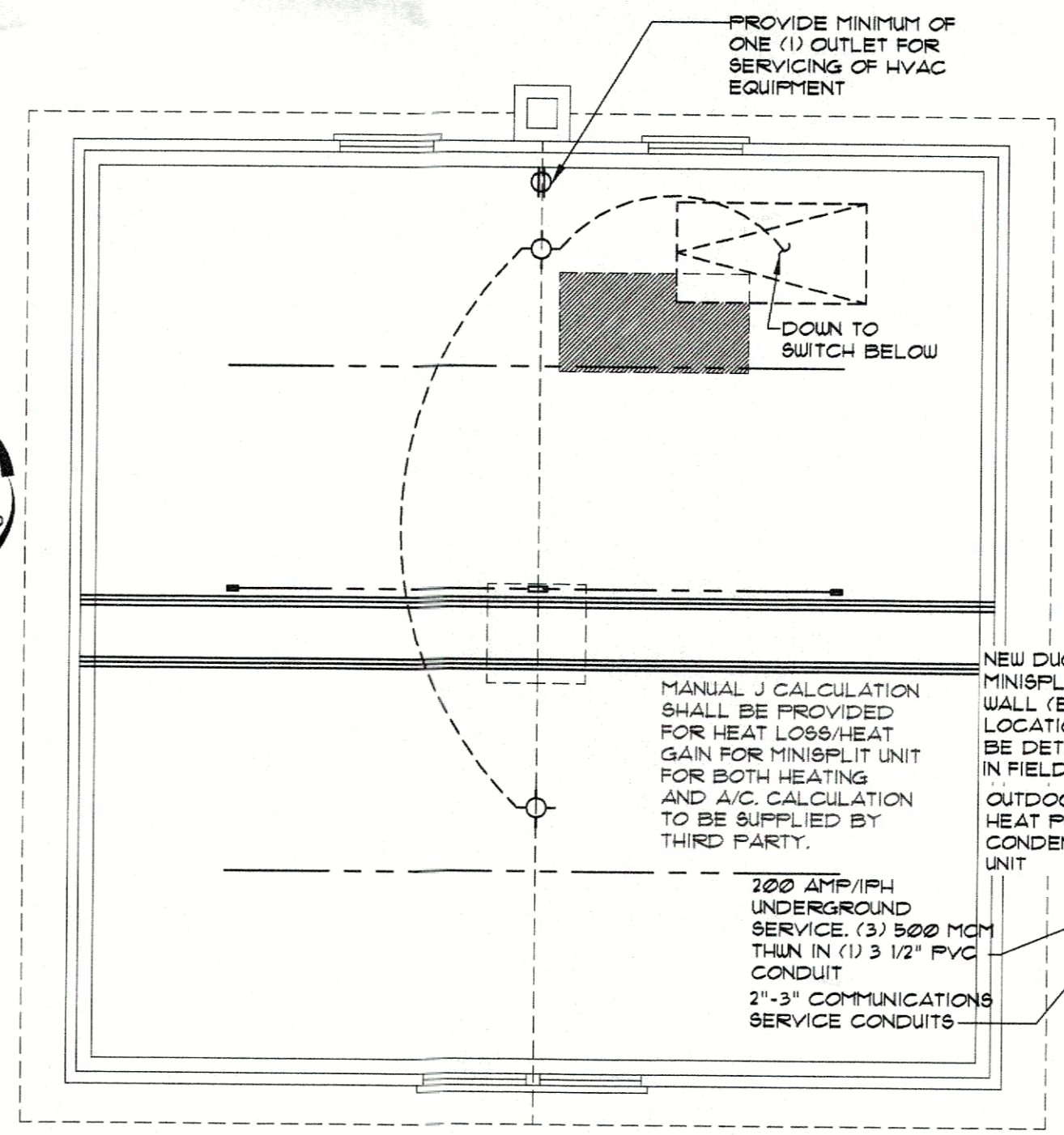
**NOTE:** A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR NOT LESS THAN 90% OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.

ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE-PHASE, 15- AND 20- AMPERE OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER.

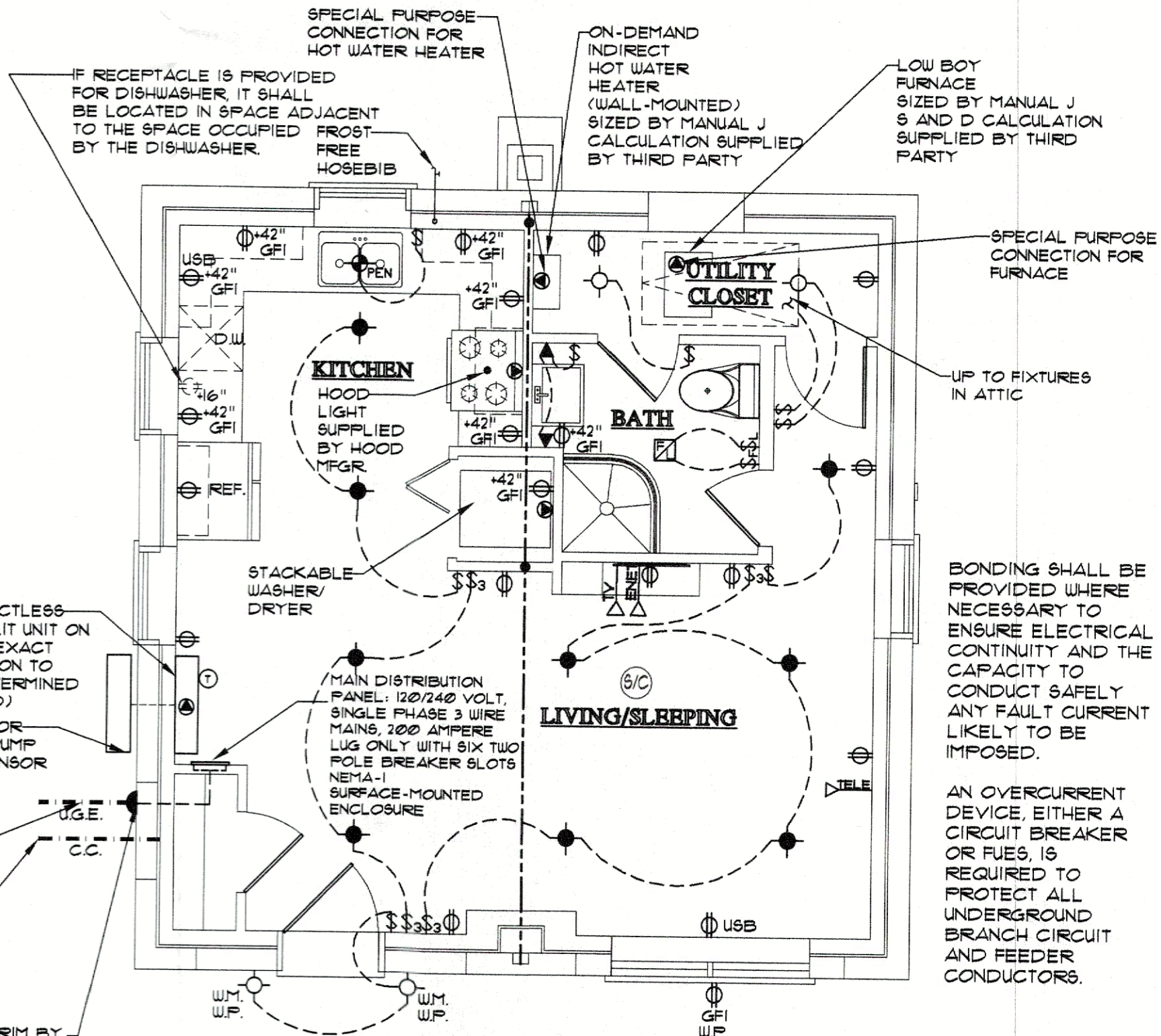
**NOTE:** NUMBER OF RECEPTACLES AND FIXTURES INDICATED ARE ARCHITECT'S INTERPRETATION TO MEET THE ELECTRICAL CODE OF NEW YORK STATE'S MINIMUM REQUIREMENTS FOR RESIDENTIAL CONSTRUCTION. ACTUAL FIXTURES (BOTH TYPE AND LOCATION) SHALL BE DETERMINED IN FIELD BY CONTRACTOR AND SHALL BE AS PER CONTRACT BETWEEN OWNER AND CONTRACTOR.

ALL SMOKE CARBON MONOXIDE AND HEAT DETECTORS SHALL BE OF THE SEALED, "TALKING" TYPE, WITH NON-REMOVABLE 10 YEAR BATTERIES OR HARD-WIRED TO THE BUILDING AND ALL DETECTORS SHALL BE INTERCONNECTED.

NEW DETECTORS SHALL BE INSTALLED NOT LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A TUB OR SHOWER, UNLESS THIS WOULD PREVENT PLACEMENT OF A DETECTOR AS REQUIRED BY SECTION R314.3 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.

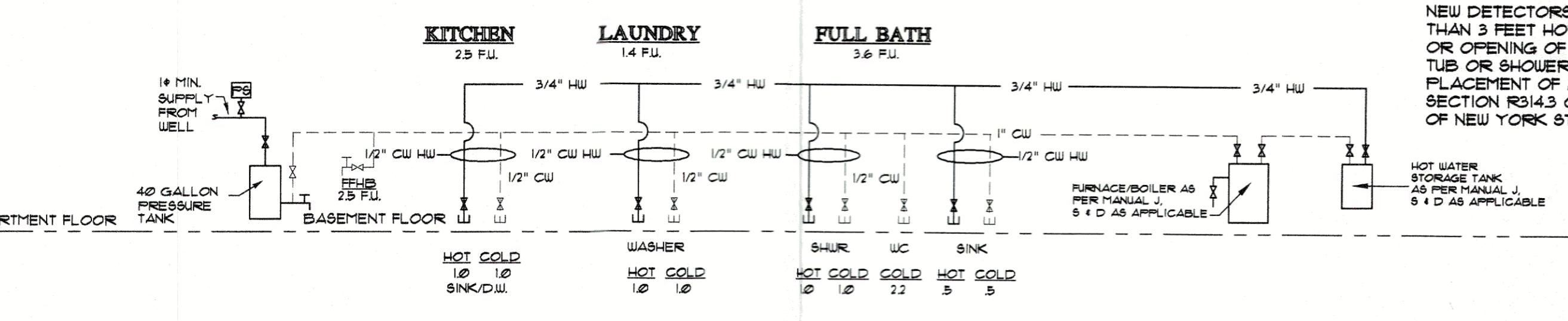


**ATTIC ELECTRICAL PLAN**



**ACCESSORY STUDIO APARTMENT ELECTRICAL PLAN**

**SANITARY RISER SCHEMATIC**



**DOMESTIC WATER RISER DIAGRAM**

30-38 PSI PRESSURE RANGE

TOTAL = 15 GROUP FIXTURE UNITS TOTAL = 33 FIXTURE UNITS (HOT) TOTAL = 51 FIXTURE UNITS (COLD) TOTAL = 92 FIXTURE UNITS (HOT-COLD)

Project Name: EXISTING GARAGE CONVERSION INTO: **ACCESSORY STUDIO APARTMENT** FOR: **TODD AND JAMIE HILL** 149 MILL STREET, WALLKILL, NY TOWN OF NEWBURGH, NY SBL: 2-1-91

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ANY UNAUTHORIZED ALTERATION OF THESE PLANS IS A VIOLATION OF SECTION 2306D OF THE NEW YORK STATE EDUCATION LAW

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Date: **OCTOBER 2023**

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